

GENERAL NOTES

- PRIOR TO SUBMITTING COST PROPOSAL, THE CONTRACTOR SHALL VERIFY EXISTING CONDITIONS ON SITE & REVISIONS AND DIMENSIONS REQUIRED TO SUIT THE CONTRACT DOCUMENTS.
- CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS CALLED FOR ON ANY DOCUMENT WILL BE BINDING AS IF CALLED FOR ON ALL DOCUMENTS. ALL WORK SHOWN OR REFERENCED ON ANY CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH SHOWN ON ALL RELATED DOCUMENTS.
- THE CONTRACTOR SHALL EXAMINE, READ AND BE THOROUGHLY FAMILIAR WITH ALL OF THE CONTRACT DOCUMENTS. SHOULD THE CONTRACTOR FIND DISCREPANCIES IN OR OMISSIONS FROM THE DRAWINGS AND SPECIFICATIONS, OR SHOULD IN DOUBT AS TO THEIR INTENT OR MEANING, HE SHALL NOTIFY THE ARCHITECT IMMEDIATELY FOR CLARIFICATION OR INTERPRETATION.
- IF A DISCREPANCY APPEARS IN THE DRAWINGS OR SPECIFICATIONS, OR IN WORK DONE BY OTHERS AFFECTING THIS WORK, NOTIFY DESIGN EVEREST AT ONCE FOR INSTRUCTION AS TO PROCEDURE. IF CONTRACTOR PROCEEDS WITH WORK AFFECTED WITHOUT INSTRUCTION FROM THE DESIGNER, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT.
- CONFLICT OCCUR IN OR BETWEEN DRAWINGS AND SPECIFICATION OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR/OWNER IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONTRACTOR INVOLVED.
- ALL WORK SHALL MEET FEDERAL, STATE AND LOCAL BUILDING CODES AND ORDINANCES IN ADDITION TO AIA REQUIREMENTS. SOLE REFERENCE SHALL MEET THE EDITIONS SPECIFIED ON THIS SHEET AND AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTION.
- CONTRACTOR SHALL CONFIRM DURING THE PRICING PERIOD ON-SITE DELIVERY DATES OF ALL MATERIALS SPECIFIED IN THE CONTRACT DOCUMENTS AND IMMEDIATELY NOTIFY THE DESIGNER IN WRITING OF POTENTIAL DELAYS TO THE COMPLETION OF THE PROJECT. IF THE CONTRACTOR/OWNER FAILS TO ORDER MATERIALS IN SUFFICIENT TIME FOR ORDERLY INSTALLATION, THE DESIGNER WILL NOT ENTERTAIN ANY REQUESTS FOR MATERIAL SUBSTITUTION.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING FINISHED AREAS IN OR OUTSIDE OF THE JOB SITE. THE BUILDING REFUSE FACILITIES SHALL NOT BE USED FOR THIS PURPOSE WITHOUT PERMISSION FROM BUILDING OWNER.
- THE CONTRACTOR SHALL CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS AND CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT.
- THE CONTRACTOR SHALL LEAVE THE PREMISES AND ALL AREAS CLEAN AND IN AN ORDERLY MANNER READY FOR OCCUPANCY AT THE END OF THE PROJECT.
- THE CONTRACTOR SHALL SUBMIT TO THE OWNER FOR APPROVAL, A DETAILED CONSTRUCTION SCHEDULE SHOWING PHASING AND TIME ALLOTMENT OF WORK.
- THE CONTRACTOR/OWNER OR SUBCONTRACTORS SHALL SECURE AND PAY FOR ALL PERMITS, GOVERNMENTAL FEES AND LICENSES REQUIRED FOR PROPER COMPLETION OF THE PROJECT.
- NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE REVIEWED SHOP DRAWINGS AND SAMPLES.
- CONSTRUCTION LIABILITY: CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL, HARMLESS FROM AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- DATUM IS SET AT +2.0' FOR REFERENCE PURPOSES (TOP OF SLAB). ALL ELEVATIONS SHOWN ON PLANS, ELEVATIONS AND SECTIONS (EXCEPT FOR GRADING PLANS) ARE REFERENCED TO THIS DATUM.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE LOCATION OF PLOT LINES, BOUNDARIES, AND FOR MAINTAINING PROPER RELATIONSHIPS TO SUCH AS INDICATED ON CIVIL DRAWINGS IF APPLICABLE.
- THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE OF SURFACE WATER WITHOUT PONDING OF WATER ADJACENT TO BUILDING OR ON PAVEMENTS. DRAINAGE OF PAVED AREAS TO BE AS SHOWN ON CIVIL ENGINEER'S DRAWINGS.
- ALL PATCHING, REPAIRING AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES.
- ALL VENTS THROUGH ROOF SHALL BE KEPT AT A MINIMUM HEIGHT CONSISTENT WITH APPLICABLE CODES.
- ALL OPEN JOINTS, PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CALKED, GASKETED OR WEATHERSTRIPPED TO LIMIT AIR LEAKAGE.
- ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEMS ARE "DESIGN/BUILD" PERFORMANCE SPECIFICATIONS AS WELL AS EQUIPMENT SIZES ARE TO BE REVIEWED BY THE DESIGNER AND OWNER PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ANY AND ALL MATERIALS SUPPLIED BY OWNER SHALL BE INSTALLED BY CONTRACTOR/OWNER (E.C.) UNLESS OTHERWISE NOTED. CONTRACTOR/OWNER SHALL COORDINATE WITH OWNER FOR REQUIRED SCHEDULING AND ORDERING INFORMATION.
- ALL MECHANICAL, ELECTRICAL AND PLUMBING LOCATIONS SHOWN ON DESIGNERS PLANS ARE FOR DESIGN INTENT ONLY. ALL ELECTRICAL, MECHANICAL AND PLUMBING WORK ARE TO BE PROVIDED AS PART OF THIS PACKAGE PER THE LOCAL JURISDICTION.
- PLUMBING AND EQUIPMENT VENTING: WHERE FEASIBLE, VENT ALL PLUMBING FIXTURES, EXHAUST VENTS, FURNACE, AND WATER HEATER TO ROOF. VERIFY ALL LOCATIONS OF VENTS WITH DESIGNER AND OWNER PRIOR TO INSTALLATION.
- PROVIDE WATER-RESISTANT GYPSONUM BOARD AT ALL BATH, TOILET, AND LAUNDRY ROOM WALLS THAT WILL BE PAINTED. PROVIDE WOODER BOARD AT ALL WALL AND CEILING SURFACES THAT MAY BE FINISHED WITH TILE OR STONE.
- THE CONTRACTOR/OWNER SHALL COORDINATE ALL WORK WITH MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS, AND REPORT TO JURISDICTION OR OWNER REPRESENTATIVE ANY DISCREPANCIES FOR CORRECTION OR ADJUSTMENT. NO ALLOWANCE WILL BE MADE FOR INCREASED COSTS INCURRED DUE TO LACK OF PROPER COORDINATION.
- NOISE REDUCTION: CONSTRUCTION CONTRACTORS SHALL MUFFLE AND SHIELD INTAKES AND EXHAUSTS, SHROUD OR SHIELD IMPACT TOOLS, AND USE ELECTRIC-POWERED RATHER THAN DIESEL-POWERED CONSTRUCTION EQUIPMENT (AS FEASIBLE). ALL STATIONARY NOISE GENERATING EQUIPMENT SHALL BE LOCATED AS FAR AWAY AS POSSIBLE FROM NEIGHBORING PROPERTY LINES. ALL CONSTRUCTION EQUIPMENT SHALL BE MAINTAINED AND OPERATED ACCORDING TO MANUFACTURER'S MAINTENANCE SCHEDULES AND RECOMMENDATIONS TO MINIMIZE NOISE AND EXHAUST EMISSIONS PARTICULARLY NITROGEN OXIDES).
- CONTRACTOR TO COORDINATE WITH OWNER FOR OWNER PROVIDED MATERIALS AND PRODUCTS.
- ANY AND ALL MATERIALS SUPPLIED BY OWNER SHALL BE INSTALLED BY CONTRACTOR/OWNER (E.C.) UNLESS OTHERWISE NOTED. CONTRACTOR/OWNER SHALL COORDINATE WITH OWNER FOR REQUIRED SCHEDULING AND ORDERING INFORMATION.
- CONTRACTOR/OWNER SHALL ASSIST IN DETERMINING QUANTITIES WHEN REQUIRED.
- FOR ALL MATERIALS PROVIDED BY CONTRACTOR/OWNER WHICH REQUIRE COLOR OR FINISH SELECTION, CONTRACTOR/OWNER SHALL CONTACT DESIGNER AND OWNER FOR ALL DECISIONS.
- ADEQUATE PREPARATION OF THE SUBSTRATE IS IMPERATIVE TO PROPER BONDING OF THE PAINT. PREP EACH SUBSTRATE AS RECOMMENDED BY MANUFACTURER, THOROUGHLY.
- ALL WOOD SHALL BE PAINTED - THREE COAT (STAIN AND SEAL, INTERMEDIATE, INTERMEDIATE, INTERMEDIATE, STAIN AND SEAL, WHERE INDICATED).
- COLORS WILL BE PROVIDED AND SELECTED BY OWNER. FINAL ACCEPTANCE OF COLORS WILL BE FROM JOB-APPLIED SAMPLES. PROVIDE FULL-COAT FINISH SAMPLES ON SURFACE WITH A MINIMUM SIZE OF 25 SF. FOR APPROVAL BY OWNER.
- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT THE TIME OF INSPECTION. CMC 303.1.
- PER SECTION 70A.5.1, DETACHED ACCESSORY STRUCTURES SHALL COMPLY WITH REQUIREMENTS OF CHAPTER 7A FOR ALL PROJECTS LOCATED IN THE WILDLAND URBAN INTERFACE.
- ROOFING ASSEMBLIES:
 - ROOFING ASSEMBLIES SHALL BE DESIGNED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS BETWEEN THE ROOF COVERING AND THE ROOF DECKING.
 - ROOF VALLEY FLASHING SHALL BE MADE OF NOT LESS THAN 20-GAUGE GALVANIZED SHEET METAL, INSTALLED OVER A MINIMUM 3/8" WIDE UNDERLAYMENT OF ONE LAYER OF 72" CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
 - ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS AT THE GUTTER.
- ATTIC VENTILATION:
 - ROOF ATTIC VENTS SHALL BE DESIGNED TO RESIST THE INTRUSION OF FLAMES AND EMBERS INTO THE ATTIC OF A STRUCTURE, OR SHALL BE PROTECTED WITH CORROSION RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4" OPENINGS, OR EQUIVALENT.
 - EAVE AND CORNICE VENTS SHALL BE DESIGNED TO RESIST THE INTRUSION OF FLAMES AND EMBERS INTO THE ATTIC OF A STRUCTURE, OR SHALL BE PROTECTED WITH CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH 1/4" OPENINGS, OR EQUIVALENT.
 - EAVE PROTECTION - EAVES AND SOFFITS SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.

SHEET INDEX

GENERAL	STRUCTURAL
A-001 COVER SHEET	S0.0 GENERAL NOTES
A-002 TITLE 24	S1.0 FOUNDATION PLAN
A-003 GENERAL NOTES	S1.1 FRAMING PLANS
A-004 RMS	S4.0 DETAILS
A-005 EXISTING ELEVATION PHOTOS	S4.1 DETAILS
A-006 EXISTING SOLAR STUDY	S4.2 DETAILS
A-007 PROPOSED SOLAR STUDY	
ARCHITECTURAL	
A-101 EXISTING/PROPOSED FIRST FLOOR PLAN	
A-102 PROPOSED SECOND FLOOR PLAN	
A-103 EXISTING & PROPOSED ROOF PLAN	
A-104 EXISTING & PROPOSED SECOND FLOOR PLANS	
A-201 EXTERIOR ELEVATIONS	
A-202 EXTERIOR ELEVATIONS	
A-203 COLORED SECTIONS & TYPICAL DETAILS	
A-501 BUILDING SECTIONS & TYPICAL DETAILS	
A-502 DETAILS	

SCOPE OF PROJECT

THE PROJECT CONSISTS OF A SECOND STORY ADDITION OF 960 SF TO AN EXISTING 1-STORY SINGLE FAMILY HOME.

PROJECT DATA

ADDRESS: 717 MATSONIA DR
FOSTER CITY, CA 94404

LEGAL DESCRIPTION: APN 94003090
LOT 221 FOSTER CITY NEIGHBORHOOD NO 1 UNIT NO 1
1 RSM 5/7/2 41
LOT AREA: 5,127 SQ FT

FLOOR AREA:
(E) 1ST FLOOR AREA: 2,242 SF
(E) GARAGE AREA: 510 SF
(E) UTILITY STORAGE: 25 SF
(E) TOTAL BUILDING AREA: 2,752 SF
(E) DECK: 400 SF

PROPOSED 2ND FLOOR ADDITION AREA: 960 SF
(N) TOTAL BUILDING AREA: 3,712 SF
(N) DECK: 184 SF
LOT COVERAGE: 41.10%
SETBACKS: NO CHANGE PROPOSED

MAX COVERAGE: 50%
BUILDING HEIGHT: 25 FT MAX

ZONING: SETBACKS: FRONT (20FT), SIDE (5FT), REAR (20FT)

CODES & REGULATIONS

- TITLE 24 (PART 2) 2022 CALIFORNIA BUILDING CODE
- TITLE 24 (PART 2.5) 2022 CALIFORNIA RESIDENTIAL CODE
- TITLE 24 (PART 3) 2022 CALIFORNIA ELECTRICAL CODE
- TITLE 24 (PART 4) 2022 CALIFORNIA MECHANICAL CODE
- TITLE 24 (PART 5) 2022 CALIFORNIA PLUMBING CODE
- TITLE 24 (PART 6) 2022 CALIFORNIA ENERGY CODE
- TITLE 24 (PART 11) 2022 CALIFORNIA FIRE CODE
- TITLE 24 (PART 11) 2022 CALIFORNIA GREEN BUILDING STANDARDS
- CITY OF FOSTER CITY MUNICIPAL CODE

PROJECT DIRECTORY

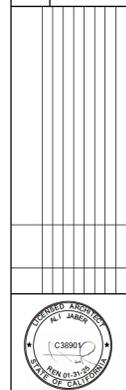
ARCHITECT: DESIGN EVEREST
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: 925-311-3015

OWNER: AYUSH PARASHAR
717 MATSONIA DR
FOSTER CITY, CA 94404

DESIGN EVEREST
CONSULTING ENGINEERS

365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (925) 311-3015
FAX: (925) 925-1801

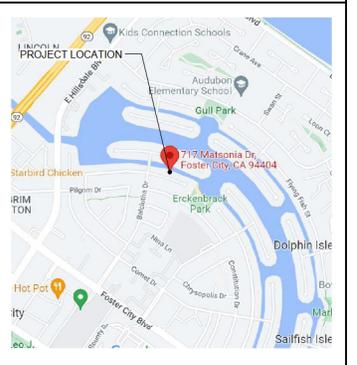
717 MATSONIA DR
PERMIT SET



SIGN DATE: 03/09/2023
DATE: 03/09/2023
SCALE: AS NOTED
DRAWN BY: AJ
CKD BY:
PROJECT#: 202201690

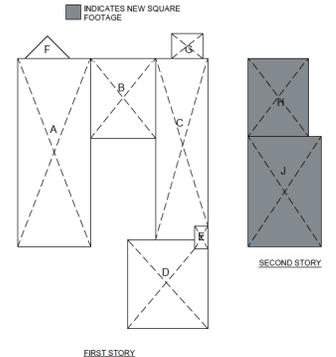
A-001

VICINITY MAP



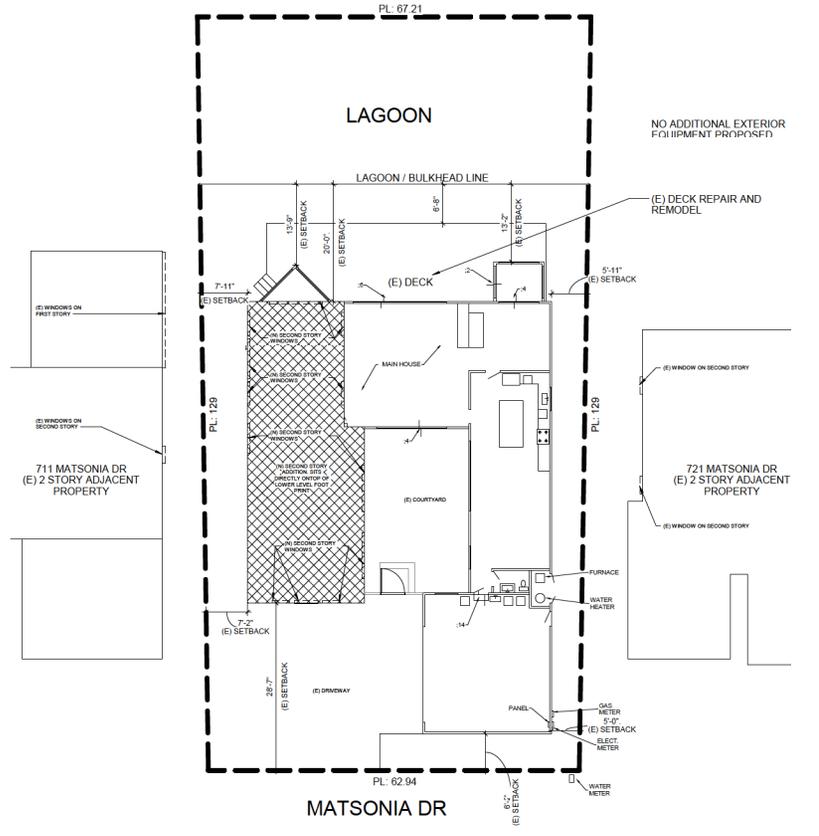
PROJECT SUMMARY TABLE:

NET LOT AREA: (Does not include setbacks, easements, etc.)	0.534	square feet
FLOOR AREA 1ST FLOOR:	2,242	square feet
FLOOR AREA 2ND FLOOR:	0	square feet
GARAGE:	510	square feet
TOTAL FLOOR AREA:	2,752	square feet
Lot Coverage: (Includes all lot area covered by all buildings, including patios, decks, porches, etc.)	2,752	square feet (100%)
Setbacks:	17 feet 0 inches	21 feet 1 inches
Front 1st story:	28 feet 7 inches	28 feet 7 inches
Front 2nd story:	13 feet 2 inches	28 feet 7 inches
Back 1st story:	13 feet 2 inches	13 feet 2 inches
Back 2nd story:	19 feet 11 inches	19 feet 11 inches
Right side 1st story:	5 feet 11 inches	5 feet 11 inches
Right side 2nd story:	7 feet 2 inches	37 feet 6 inches
Left side 1st story:	7 feet 2 inches	7 feet 2 inches
Left side 2nd story:	7 feet 2 inches	7 feet 2 inches
Existing Extension Colors And Materials:	EXISTING: WHITE STUCCO/CEMENT SIDING SIDING: BURGANDY Trim: BURGANDY	PROPOSED: WHITE STUCCO/CEMENT SIDING CONCRETE ROOF TILE - RED SAND



SECTION	DIMENSIONS	AREA
A	52x19.8	1,030
B	22x17.9	394
C	48x14.2	700
D	22x23.1	510
E	3.5x6.2	22
F		38
G	6.6x6.7	56
H	21.5x16.5	356
I	10x30.2	604
J		960
FIRST STORY TOTAL		2,752
SECOND STORY TOTAL		960
TOTAL FLOOR AREA		3,712
LOT COVERAGE		42.11%

NO CHANGE TO (E) LOT COVERAGE IS PROPOSED



10 LOT COVERAGE DIAGRAM
N/A

3 PROPOSED SITE PLAN
SCALE: 1" = 10'-0"

RESIDENTIAL MEASURES SUMMARY

Project Name: **717 Matsonia Drive ADU** Building Type: **Single Family** Address: **717 Matsonia Drive** City: **Foster City** Date: **6/9/2022**
 Project Address: **717 Matsonia Drive** City: **Foster City** Climate Zone: **03** 925 925 1 of 4 Units

Insulation Construction Type	Cavity	Area (ft ²)	Special Features	Status
Wall	Wood Framed	R 15	125	New
Wall	Wood Framed	R 15	237	New
Wall	Wood Framed	R 15	36	New
Roof	Wood Framed Attic	R 30	319	As-Built
Roof	Wood Framed Rafter	R 30	60	New
Demising	Wood Framed w/ Ceil Space	no insulation	225	New

Fenestration Location	Area (ft ²)	U-Factor	SHGC	Overhang	Shading	31.6% View/Transmittance	31.6% View/Transmittance	31.6% View/Transmittance	Status
Left (NW)	60.0	0.300	0.35	none	none	N/A	N/A	N/A	New
Right (SE)	49.0	0.300	0.35	none	none	N/A	N/A	N/A	New
Front (SW)	34.0	0.300	0.35	none	none	N/A	N/A	N/A	New
Skylight	15.0	0.470	0.35	none	none	N/A	N/A	N/A	New

HVAC Systems City	Min. Eff.	Cooling	Min. Eff.	Thermostat	Status
1	Split Heat Pump	8.2 EER/HP	Split Heat Pump	1.0 SEER	Standard

HVAC Distribution Location	Heating	Cooling	Duct Location	Duct R-Value	Status
New HVAC	Ductless w/ Fan	Ductless	nta	nta	New

Water Heating City	Type	Gallons	Min. Eff.	Distribution	Status
1	Small Instantaneous Gas	1	0.65	Standard	New

Reference: **2019 Low-Rise Residential Mandatory Measures Summary**
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2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subjected to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the measures below for more information. **Exemptions are apply.**

- 110.0001:** **Low-Rise Residential Buildings Subjected to the Energy Standards** must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the measures below for more information. **Exemptions are apply.**
- 110.0002:** **Building Envelope Measures**
 - 110.0002.01:** **Air Leakage:** Manufactured fenestration, exterior doors, and exterior pet doors must meet or exceed the leakage of 0.3 CFM per square foot or less when tested per ASTM E283, ASTM E287, or ASTM E331.
 - 110.0002.02:** **Labeling:** Fenestration products and exterior doors must meet the energy performance requirements of § 110.0002.01.
 - 110.0002.03:** **Field-Insulated Exterior Doors and Fenestration Products:** Must use U-Values and solar heat gain coefficient (SHGC) values from Tables 110.0002.01 and 110.0002.02, respectively. They must also meet the energy performance requirements of § 110.0002.01.
 - 110.0002.04:** **Air Leakage:** All joints, penetrations, and other openings in the building envelope must be air-tight and sealed in accordance with California Building Code, or member approval.
 - 110.0002.05:** **Insulation Certification by Manufacturer:** Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
 - 110.0002.06:** **Insulation Certification by Manufacturer:** Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
 - 110.0002.07:** **Roofing Products: Solar Reflectance and Thermal Emittance:** The thermal emittance and solar reflectance values of the roofing material must meet the requirements of 110.0002.01 and be tested per § 110.0002.02.
 - 110.0002.08:** **Water Barriers:** When required, water barriers must have an emittance of 0.07 or less and be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
 - 110.0002.09:** **Celling and Rafter Insulation:** Minimum R-22 insulation in wood-frame ceilings or the equivalent energy U-factor must not exceed 0.043. Minimum R-19 lightweight aggregate (LSA) or less in rafter insulation. All attic doors must have a permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling that is sealed to form airtight and self-tight as specified in § 110.0002.04, but not in violation of building official orders or below the roof deck or on top of a gasketed joist.
 - 110.0002.10:** **Low-Rise Insulation:** Loose fill insulation must meet the manufacturer's requirement for the labeled R-value.
 - 110.0002.11:** **Heat Insulation:** Insulation R-19 in exterior walls must not have a U-factor of 0.02 or more. R-9 in 2x4 or 2x6 wood framing with a U-factor of 0.07 or less. Outside non-vented assemblies must have an overall assembly U-factor not exceeding 0.02. Masonry walls must meet Table 110.0002.01.
 - 110.0002.12:** **Rafter-Roof Insulation:** Minimum R-19 insulation in rafter wood framed roof or R-137 minimum U-factor.
 - 110.0002.13:** **Site/Energy:** Site energy insulation must meet all of the following: have a water absorption test; for the insulation material area without being in contact with water, have a water vapor permeance not greater than 2.0 perm inch for geotextile from physical drainage and UV/UVB deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.0002.04.
 - 110.0002.14:** **Vapor Retarder:** In climate zones 1 and 16, Class I or Class II vapor retarder must be installed in the conditioned space and all of its exterior walls, vertical shafts, and unvented shafts with air leakage through them.
 - 110.0002.15:** **Vapor Retarder:** In climate zones 1 and 16, Class I or Class II vapor retarder must be installed in the conditioned space and all of its exterior walls, vertical shafts, and unvented shafts with air leakage through them.
 - 110.0002.16:** **Exhaust Fans:** Exhaust fans, including supply fans, requiring conditioned space from conditioned space or outdoors must have a maximum static pressure of 0.18 inch water gauge. Labeling of fan resistance must not exceed 0.18 inch water gauge.
- 110.0003:** **Fenestration, Decorative Glazing, and Gas Log Measures**
 - 110.0003.01:** **Pilot Light:** Continuously burning pilot lights are not allowed for indoor and outdoor appliances.
 - 110.0003.02:** **Outside Doors:** Heavy or factory-built fireplaces must have a double metal or glass door covering the entire opening of the fireplace.
 - 110.0003.03:** **Combustion Appliance:** Heavy or factory-built fireplaces must have a combustion appliance gas valve that is at least six square inches area and is equipped with a readily accessible, operable, and light-fitting damper or combustion-air control device.
 - 110.0003.04:** **Flue Damper:** Heavy or factory-built fireplaces must have a flue damper with a readily accessible control.
- 110.0004:** **Space Conditioning, Water Heating and Plumbing System Measures**
 - 110.0004.01:** **Certification:** Heating, ventilation and air conditioning (HVAC) equipment, water heaters, above-ground, fixtures, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.
 - 110.0004.02:** **HVAC Equipment:** Equipment must meet the applicable requirements in Table 110.0004.01 through 110.0004.04, and in which the control for heat pumps with supplementary electric resistance heaters. Heat pumps with supplementary electric resistance heaters must have a minimum seasonal energy efficiency ratio (SEER) of 13.0. The outdoor temperature for supplementary heating, and the test of temperature for compressor heating, must be the outdoor temperature for the equipment. The minimum outdoor temperature for supplementary heating, and the test of temperature for compressor heating, must be the outdoor temperature for the equipment. The minimum outdoor temperature for supplementary heating, and the test of temperature for compressor heating, must be the outdoor temperature for the equipment.
 - 110.0004.03:** **Water Heating Recirculation Loops Serving Multiple Dwelling Units:** Water heating recirculation loops serving multiple dwelling units must meet the minimum water, backflow prevention, pump control, pump control, and pipe connection requirements of Table 110.0004.01.
 - 110.0004.04:** **Insulation:** Insulation on water heaters with a input rating greater than 40,000 Btu per hour (210,000 kcal per hour) must have insulation walls with R-values of 1.0 or higher on both cold and hot water lines, unless for heating the water in the water heater area.
 - 110.0004.05:** **Pilot Lights:** Continuously burning pilot lights are prohibited for natural gas, propane, and electric furnaces, room-sized combustion appliances (except poolspas) and electric supply voltage connectors with pilot lights that are 100,000 Btu per hour (420,000 kcal per hour) and above and gas fireplaces.
 - 110.0004.06:** **Building Cooling and Heating Loads:** Heating and/or cooling loads must be calculated in accordance with the ASHRAE Handbook, Equipment Loads, and Fundamentals, Loads Manual, and Fundamentals, Room and Roomer Control System Installation Standards Manual, or the ACCA Manual J using design conditions specified in § 110.0004.01.

2019 Low-Rise Residential Mandatory Measures Summary

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 - 110.0002.01:** **Air Leakage:** Manufactured fenestration, exterior doors, and exterior pet doors must meet or exceed the leakage of 0.3 CFM per square foot or less when tested per ASTM E283, ASTM E287, or ASTM E331.
 - 110.0002.02:** **Labeling:** Fenestration products and exterior doors must meet the energy performance requirements of § 110.0002.01.
 - 110.0002.03:** **Field-Insulated Exterior Doors and Fenestration Products:** Must use U-Values and solar heat gain coefficient (SHGC) values from Tables 110.0002.01 and 110.0002.02, respectively. They must also meet the energy performance requirements of § 110.0002.01.
 - 110.0002.04:** **Air Leakage:** All joints, penetrations, and other openings in the building envelope must be air-tight and sealed in accordance with California Building Code, or member approval.
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 - 110.0002.07:** **Roofing Products: Solar Reflectance and Thermal Emittance:** The thermal emittance and solar reflectance values of the roofing material must meet the requirements of 110.0002.01 and be tested per § 110.0002.02.
 - 110.0002.08:** **Water Barriers:** When required, water barriers must have an emittance of 0.07 or less and be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
 - 110.0002.09:** **Celling and Rafter Insulation:** Minimum R-22 insulation in wood-frame ceilings or the equivalent energy U-factor must not exceed 0.043. Minimum R-19 lightweight aggregate (LSA) or less in rafter insulation. All attic doors must have a permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling that is sealed to form airtight and self-tight as specified in § 110.0002.04, but not in violation of building official orders or below the roof deck or on top of a gasketed joist.
 - 110.0002.10:** **Low-Rise Insulation:** Loose fill insulation must meet the manufacturer's requirement for the labeled R-value.
 - 110.0002.11:** **Heat Insulation:** Insulation R-19 in exterior walls must not have a U-factor of 0.02 or more. R-9 in 2x4 or 2x6 wood framing with a U-factor of 0.07 or less. Outside non-vented assemblies must have an overall assembly U-factor not exceeding 0.02. Masonry walls must meet Table 110.0002.01.
 - 110.0002.12:** **Rafter-Roof Insulation:** Minimum R-19 insulation in rafter wood framed roof or R-137 minimum U-factor.
 - 110.0002.13:** **Site/Energy:** Site energy insulation must meet all of the following: have a water absorption test; for the insulation material area without being in contact with water, have a water vapor permeance not greater than 2.0 perm inch for geotextile from physical drainage and UV/UVB deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.0002.04.
 - 110.0002.14:** **Vapor Retarder:** In climate zones 1 and 16, Class I or Class II vapor retarder must be installed in the conditioned space and all of its exterior walls, vertical shafts, and unvented shafts with air leakage through them.
 - 110.0002.15:** **Vapor Retarder:** In climate zones 1 and 16, Class I or Class II vapor retarder must be installed in the conditioned space and all of its exterior walls, vertical shafts, and unvented shafts with air leakage through them.
 - 110.0002.16:** **Exhaust Fans:** Exhaust fans, including supply fans, requiring conditioned space from conditioned space or outdoors must have a maximum static pressure of 0.18 inch water gauge. Labeling of fan resistance must not exceed 0.18 inch water gauge.
- 110.0003:** **Fenestration, Decorative Glazing, and Gas Log Measures**
 - 110.0003.01:** **Pilot Light:** Continuously burning pilot lights are not allowed for indoor and outdoor appliances.
 - 110.0003.02:** **Outside Doors:** Heavy or factory-built fireplaces must have a double metal or glass door covering the entire opening of the fireplace.
 - 110.0003.03:** **Combustion Appliance:** Heavy or factory-built fireplaces must have a combustion appliance gas valve that is at least six square inches area and is equipped with a readily accessible, operable, and light-fitting damper or combustion-air control device.
 - 110.0003.04:** **Flue Damper:** Heavy or factory-built fireplaces must have a flue damper with a readily accessible control.
- 110.0004:** **Space Conditioning, Water Heating and Plumbing System Measures**
 - 110.0004.01:** **Certification:** Heating, ventilation and air conditioning (HVAC) equipment, water heaters, above-ground, fixtures, and all other regulated appliances must be certified by the manufacturer to the California Energy Commission.
 - 110.0004.02:** **HVAC Equipment:** Equipment must meet the applicable requirements in Table 110.0004.01 through 110.0004.04, and in which the control for heat pumps with supplementary electric resistance heaters. Heat pumps with supplementary electric resistance heaters must have a minimum seasonal energy efficiency ratio (SEER) of 13.0. The outdoor temperature for supplementary heating, and the test of temperature for compressor heating, must be the outdoor temperature for the equipment. The minimum outdoor temperature for supplementary heating, and the test of temperature for compressor heating, must be the outdoor temperature for the equipment.
 - 110.0004.03:** **Water Heating Recirculation Loops Serving Multiple Dwelling Units:** Water heating recirculation loops serving multiple dwelling units must meet the minimum water, backflow prevention, pump control, pump control, and pipe connection requirements of Table 110.0004.01.
 - 110.0004.04:** **Insulation:** Insulation on water heaters with a input rating greater than 40,000 Btu per hour (210,000 kcal per hour) must have insulation walls with R-values of 1.0 or higher on both cold and hot water lines, unless for heating the water in the water heater area.
 - 110.0004.05:** **Pilot Lights:** Continuously burning pilot lights are prohibited for natural gas, propane, and electric furnaces, room-sized combustion appliances (except poolspas) and electric supply voltage connectors with pilot lights that are 100,000 Btu per hour (420,000 kcal per hour) and above and gas fireplaces.
 - 110.0004.06:** **Building Cooling and Heating Loads:** Heating and/or cooling loads must be calculated in accordance with the ASHRAE Handbook, Equipment Loads, and Fundamentals, Loads Manual, and Fundamentals, Room and Roomer Control System Installation Standards Manual, or the ACCA Manual J using design conditions specified in § 110.0004.01.

2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subjected to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the measures below for more information. **Exemptions are apply.**

- 110.0001:** **Low-Rise Residential Buildings Subjected to the Energy Standards** must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the measures below for more information. **Exemptions are apply.**
- 110.0002:** **Building Envelope Measures**
 - 110.0002.01:** **Air Leakage:** Manufactured fenestration, exterior doors, and exterior pet doors must meet or exceed the leakage of 0.3 CFM per square foot or less when tested per ASTM E283, ASTM E287, or ASTM E331.
 - 110.0002.02:** **Labeling:** Fenestration products and exterior doors must meet the energy performance requirements of § 110.0002.01.
 - 110.0002.03:** **Field-Insulated Exterior Doors and Fenestration Products:** Must use U-Values and solar heat gain coefficient (SHGC) values from Tables 110.0002.01 and 110.0002.02, respectively. They must also meet the energy performance requirements of § 110.0002.01.
 - 110.0002.04:** **Air Leakage:** All joints, penetrations, and other openings in the building envelope must be air-tight and sealed in accordance with California Building Code, or member approval.
 - 110.0002.05:** **Insulation Certification by Manufacturer:** Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
 - 110.0002.06:** **Insulation Certification by Manufacturer:** Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
 - 110.0002.07:** **Roofing Products: Solar Reflectance and Thermal Emittance:** The thermal emittance and solar reflectance values of the roofing material must meet the requirements of 110.0002.01 and be tested per § 110.0002.02.
 - 110.0002.08:** **Water Barriers:** When required, water barriers must have an emittance of 0.07 or less and be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
 - 110.0002.09:** **Celling and Rafter Insulation:** Minimum R-22 insulation in wood-frame ceilings or the equivalent energy U-factor must not exceed 0.043. Minimum R-19 lightweight aggregate (LSA) or less in rafter insulation. All attic doors must have a permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling that is sealed to form airtight and self-tight as specified in § 110.0002.04, but not in violation of building official orders or below the roof deck or on top of a gasketed joist.
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2019 Low-Rise Residential Mandatory Measures Summary

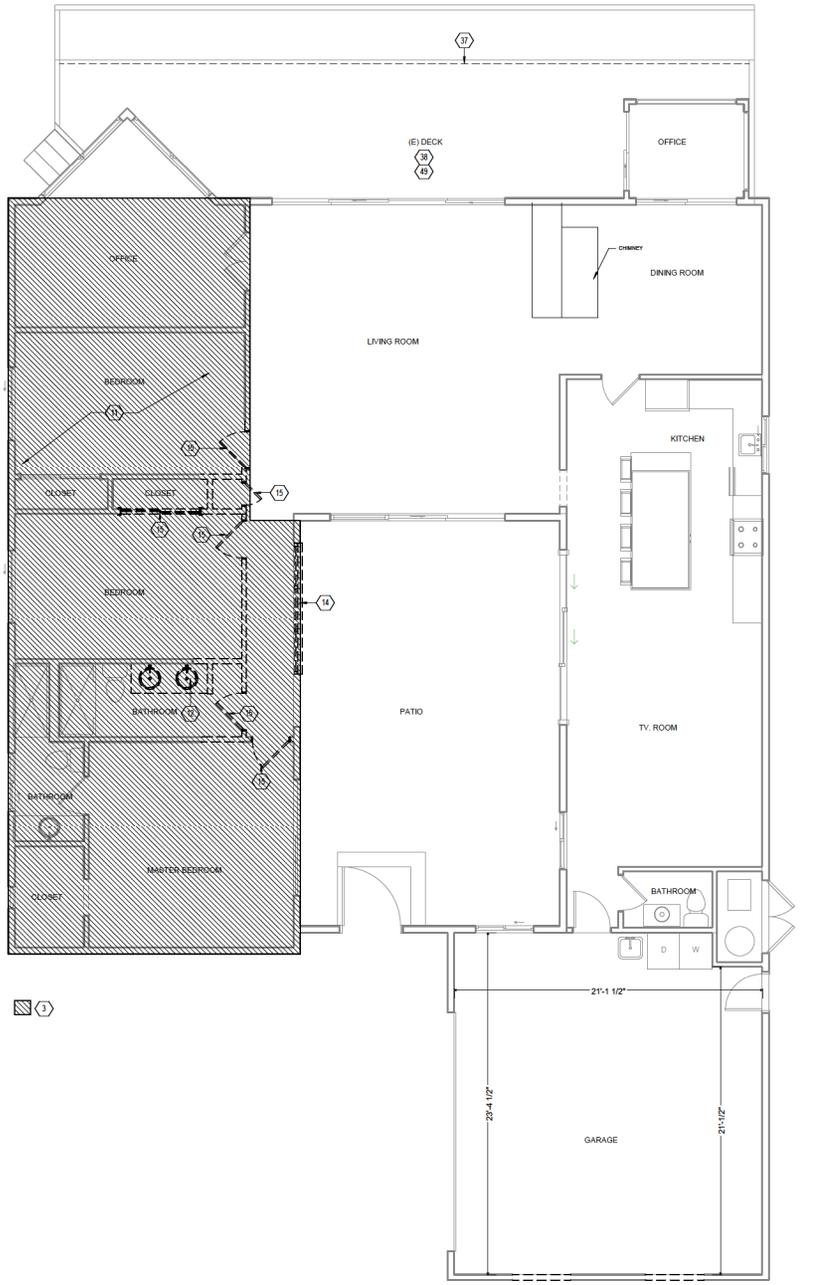
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HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Project Name: **717 Matsonia Drive ADU** Date: **6/9/2022**
 Project Address: **717 Matsonia Drive** City: **Foster City** Climate Zone: **03**

ENGINEERING CHECKS	SYSTEM LOAD	COL	COOLING PEAK	COL	HGT. PEAK
Number of Systems	5				
Heating System		CFM	Sensible	Latent	CFM
Output per System	12,000	0	456	228	8,752
Total Output (Btu/h)	12,000				
Return Ventilation					
Output (Btu/h)	13,939				
Cooling System					



GENERAL DEMO NOTES

1. PRIOR TO DEMOLITION THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM A THOROUGH INSPECTION OF THE EXISTING HOUSE AND VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF ALL UTILITIES TO BE CAPPED, REMOVED, OR RELOCATED INCLUDING PLUMBING, ELECTRICAL, TELEPHONE AND GAS. COORDINATE UTILITY SHUT-OFFS WITH THE OWNERS 48 HOURS PRIOR TO THE SHUT-DOWN.
2. REMOVE ALL WALLS AND FIXTURES AS SHOWN.
3. ANY REMOVED ITEM MAY BE CLAIMED BY OWNER.
4. PROVIDE ADEQUATE PROTECTION FOR WEATHER, SECURITY, WORKMEN, PREMISES AND ADJACENT PROPERTIES. CONTRACTOR SHALL MAINTAIN A DEBRIS BOX DURING THE COURSE OF CONSTRUCTION AND KEEP PREMISES BROOM CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE DISPOSED OF OFF SITE AND IN A LEGAL MANNER.
5. ALL SURFACES SHALL BE PATCHED TO MATCH EXISTING UNLESS OTHERWISE NOTED. COORDINATE STORAGE, DEBRIS REMOVAL, WORK HOURS AND UTILITY SHUT-DOWNS WITH THE OWNER PRIOR TO AND DURING CONSTRUCTION.
6. CONTRACTOR SHALL PROVIDE NOISE AND DUST ABATEMENT AS REQUIRED TO PREVENT DISTURBANCE AND NUISANCE TO SURROUNDING AREAS AND NEIGHBORS.
7. CONTRACTORS SHALL ERECT AND MAINTAIN TEMPORARY BRACING, SHORING, LIGHTS, BARRICADES, SIGNS AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKMEN, EXISTING LANDSCAPING AND FINISHES TO REMAIN. ANY DAMAGE CAUSED BY THE CONTRACTOR OR SUBCONTRACTOR SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
8. DEMOLITION MAY NOT START UNTIL THE CONTRACTOR HAS OBTAINED A PERMIT FROM THE BAY AREA QUALITY MANAGEMENT DISTRICT. THE PERMIT NUMBER (JM) MUST BE PROVIDED TO THE INSPECTOR AND NOTED ON THE JOBSITE INSPECTION CARD. IF THE BAIQMD HAS DETERMINED THE PROJECT IS EXEMPT, A LETTER FROM THE AGENCY MUST BE PROVIDED.

FLOOR PLAN LEGEND

	PARTITION TYPE INDICATOR
	WINDOW OR LOUVER IDENTIFIER
	KEYNOTE INDICATOR
	FURNITURE, FIXTURE & EQUIPMENT INDICATOR
	STORAGE INDICATOR
	DOOR OPENING IDENTIFIER
	PLAN NORTH & TRUE NORTH INDICATOR
	OUTLET
	GFCL ABOVE COUNTER (A.C)
	QUAD OUTLET
	SWITCH
	(N) DOOR
	DOOR TO BE DEMOLISHED
	(E) DOOR

WALL ASSEMBLY LEGEND

	NEW EXTERIOR WALL OF 2X @ 16" O.C. WOOD STUDS W/ 1 LAYER OF 5/8 GYP BD. ON THE INSIDE AND STUCCO ON THE OUTSIDE. FINISH TO MATCH (E) ADJACENT WALLS
	NEW INTERIOR WALL OF 2X @ 16" O.C. WOOD STUDS W/ 1 LAYER OF 5/8 GYP BD. ON BOTH SIDES
	DEMO (E) EXTERIOR OR INTERIOR WALL
	(E) EXTERIOR OR INTERIOR WALL

NOTE: ALL WALLS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE ON PLANS OR ELEVATIONS. 1 HOUR RATING, TYPICAL GYP BD REQUIRED WHEN ADJACENT TO GARAGE AND BETWEEN THE ADJ AND MAIN HOUSE.

SHEET KEYNOTES

- 3 (E) ROOF TO BE DEMOLISHED
- 11 DEMO (E) VAULTED CEILING
- 12 DEMO (E) SINK
- 14 DEMO (E) WINDOW AND DISCARD
- 15 DEMO (E) DOOR
- 37 DEMO AND REPLACE (E) GUARDRAIL
- 38 DEMO AND REPLACE (E) DECKING
- 49 (E) DECK SUBSTRUCTURE TO REMAIN. REFER TO STRUCTURAL DRAWINGS FRAMING PLANS, CONTRACTOR TO PROTECT IN PLACE

SHEET KEYNOTES

DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94048
PHONE: (866) 343-1113 FAX: (650) 995-1881

717 MATSONIA DR
PERMIT SET

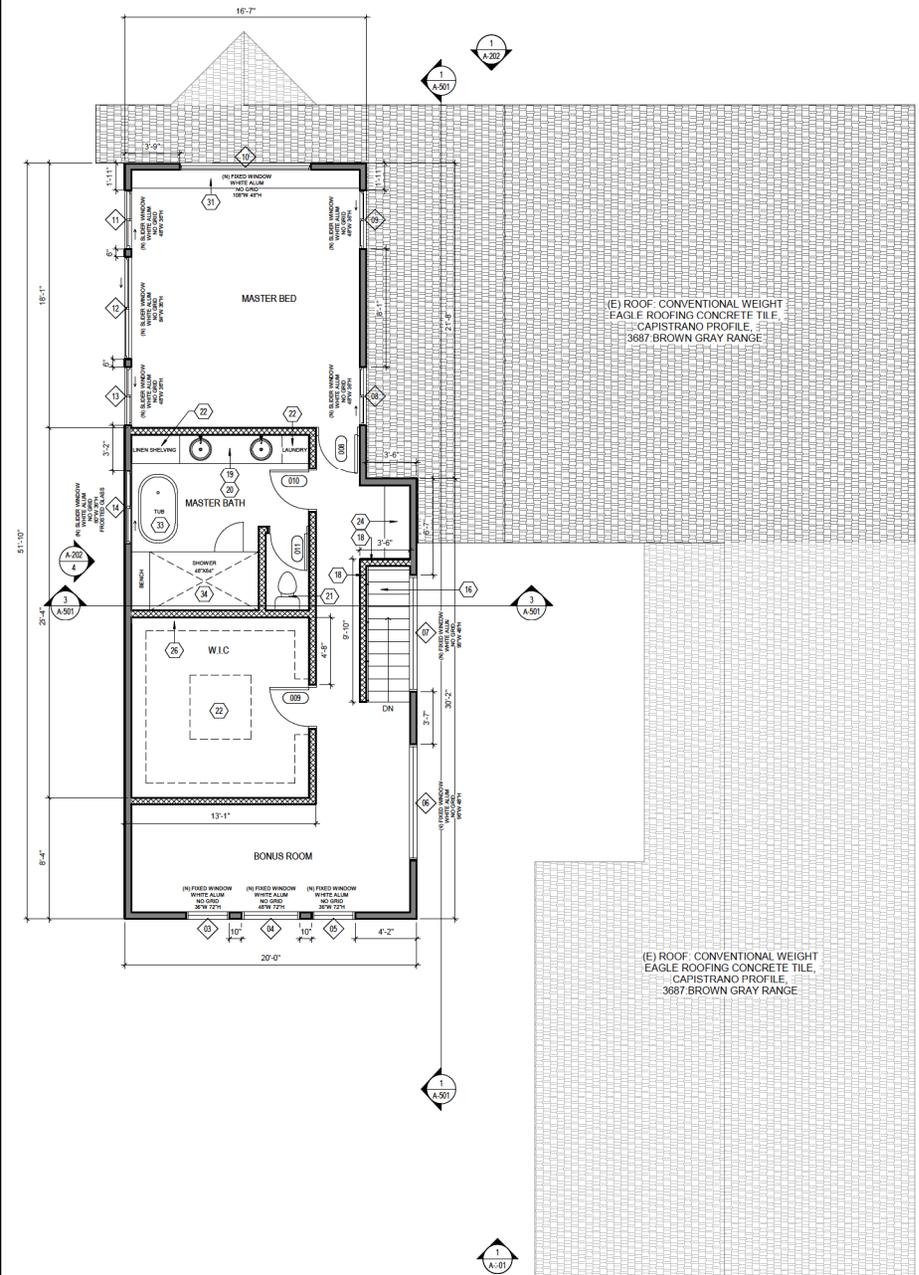


SIGN
DATE: 03/09/2023
DATE: 03/09/2023
SCALE: AS NOTED
DRAWN BY: AJ
CKD BY:
PROJECT#: 202201890

A-101

1 EXISTING/DEMO FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"





GENERAL PLAN NOTES

- SANITATION**
- Toilet Facilities: Provide low consumption water closets for all new construction. New water closet shall have a max. flush capacity of 2.0 gal. and shall be located in a clear space not less than 30" in width and have a clear space in front of the water closet stool of not less than 24".
 - Shower Areas: Showers shall have floors and walls finished with smooth, hard, non-absorbent surfaces such as portland cement, concrete ceramic tile or other approved material to a height of not less than 72" above the drain inlet. Materials other than structural elements used in such walls shall be of a type which will not adversely affect the masonry.
- Glazing**
- Glazing in hazardous locations shall be tempered in following locations.
 - ingress and egress doors.
 - Partitions in sitting or sleeping rooms.
 - Doors and enclosure for hot tub, bath tub, showers (Also glazing in wall enclosing these compartments within 5' of standing surface).
 - Glazing for Shower and Bathroom Enclosures. Glazing used in doors and panels of shower and bathtub enclosures shall be fully tempered, laminated safety glass or approved plastic. When glass is used it shall have a min. thickness of not less than 1/8" when fully tempered, or 1/4" when laminated.
 - If within 2' of vertical edge of closed door and within 5' of standing surface.
 - in wall enclosing stairway landing.
- SMOKE DETECTORS**
- A smoke detector is required for new construction of sleeping room and corridor or area giving access to a sleeping room. The required smoke detector shall be mounted on the ceiling or wall of the sleeping room, and at a point centrally located on the wall or ceiling of the corridor or area giving access to sleeping room. All required detectors shall be located in accordance with the manufacturer's instructions, with no part of the detector located more than 12" below the finished surface of the ceiling of the room or corridor in which the detector is required to be installed.
 - Required smoke detectors for new construction shall receive their primary power from the building wire with battery backup.
- MISCELLANEOUS**
- Special Hazards
 - Provide an approved spark arrester for the chimney of a fireplace, stove, or barbecue.
 - Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate for 15 secs. max. for a single opening. The deactivation switch shall be at least 54" above the floor.
 - An approved Sensitive gas shutoff valves will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.
- EMERGENCY ESCAPES**
- Every sleeping room shall have at least one operable window or exterior door approved for emergency escape. These emergency escape windows or doors must provide a full clear opening and shall be operable from the inside without the use of special tools. All emergency escape windows shall have a min. net opening of 5.7 sq. ft. with a min. height of 24" and width of 20". The sill height of emergency escape window shall not be more than 44" above the floor.
 - Provide emergency exit door or window from basement and/or sleeping rooms and habitable attic. Net clear window opening shall not be less than 5.7 sq. ft. Min. net window opening height dimension, 24" clear min. net opening with dimension, 20" clear. Finished sill height max. 44" above floor. The emergency escape and rescue opening shall control devices complying with ASTM F2000 shall be permitted. CRC# R510.1
- ADDITIONAL REQUIREMENTS:**
- When there is usable space above and below the concealed space of a floor-ceiling assembly in a single-family dwelling, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 sq. ft. Draftstopging shall divide the concealed space into approximately equal areas.
- MISCELLANEOUS**
- In all dwellings, every interior door in a doorway through which occupants pass shall have a min. width of 32".
 - No water heater which depends on combustion of a fuel for heat shall be installed in any room used or designed to be used for sleeping purposes, a bathroom, a clothes closet, or in any confined space opening into a bathroom or sleeping room.
 - All water heaters shall be anchored or strapped to prevent horizontal and vertical displacement or to earthquake.
 - Provide a complete occupancy separation between Residential Living space (Group R-3) and Private Garage (Group U). Provide one-hour fire resistive occupancy separation. Doors opening in such separation walls shall be self-closing protected by a fire assembly having a 20-min. fire-protection rating with tight fitting smoke seals.
 - An attic access opening shall be provided for attics with a vertical height of greater than 30". The opening shall be located in a corridor, hallway or other readily accessible location. The opening shall not be less than 22" by 30".min. clear headroom in the attic space shall be provided at or above access opening.
 - run height, sloping glass doors and adjoining full height fixed panels within the assembly shall be constructed or approved impact hazard rating.
- INSPECTION REQUIREMENTS**
- The permit holder or his agent shall notify the Department of Building and Safety when the building is ready for each of the following inspections:
 - Foundations: When the excavation for footings is completed and all forms and required reinforcing steel are in place but before any concrete is poured. Soil compaction report shall be provided to the building inspector at the job site prior to placement of concrete for the foundation.
 - Wood Framing: When all wood roof, wall and floor framing, the backing and bracing is completed and all pipes, rough electrical and plumbing, chimneys, Baling and vents are in place, but before any exterior wall covering is in place.
 - Thermal Insulation For Dwellings or Residential Structures: When all thermal insulation is installed in required wall and attic spaces, but before any of this work is concealed.
 - Plastering: When the backing and lath is in place ready for plaster or stucco.
 - Final: When the building is completed and ready for occupancy.
- H.V.A.C. NOTES**
- Heating, ventilation and air conditioning is to be design built.
 - The HVAC contractor to provide all necessary materials, equipment and labor to rework all existing equipment if necessary and to determine all new equipment to meet the requirements.
 - Contractor to submit equipment cut sheets and samples of ductwork, thermostats and any required access panels, to NTR consultants, Inc. for review prior to proceeding with fabrication and/or installation or relocation.
 - The HVAC contractor shall be responsible for field supervision of all their work during installation and shall inspect all systems for proper operation at completion of the job.
 - Installation shall be coordinated with all trades as required for proper assembly. Ceiling diffusers to be relocated to maintain new fixture patterns.
 - Interior spaces shall be mechanically ventilated in accordance with the administrative code.
 - Balancing of entire system shall be done by a qualified engineer.
 - All duct work shall be insulated as required for thermal and acoustic considerations.
 - Mechanical ventilation in toilet room shall provide one (1) complete air change every 15 minutes and shall be vented to outside air.
- DOOR/WINDOW REQUIREMENTS**
- ALL ENTRY DOORS SHALL BE PROVIDED WITH A DOOR VIEWER, VIEW PORTS, OR VIEWING WINDOWS. SUCH VIEW PORTS OR WINDOWS SHALL BE CONSTRUCTED OF FULLY TEMPERED GLASS.
 - SINGLE SWING DOOR, THE ACTIVE LEAF OF A PAIR OF DOORS, AND THE BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A DEADBOLT AND DEADLOCKING LATCH. THE DEADBOLT AND LATCH MAY BE ACTIVATED BY ONE LOCK OR INDIVIDUAL LOCKS. THE LOCK OR LOCKS SHALL BE KEY OPERATED FROM THE EXTERIOR SIDE OF THE DOOR AND OPERABLE FROM THE INTERIOR SIDE BY A DEVICE WHICH DOES NOT REQUIRE A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT TO OPERATE.
 - SWING WOOD DOORS SHALL BE OF CONSTRUCTION OF ONE OF THE FOLLOWING:
 - SOLID-CORE DOORS NOT LESS THAN 1-3/8" THICK.
 - HOLLOW-CORE DOORS OR DOORS LESS THAN 1-3/8" THICK EITHER OF WHICH ARE COVERED ON THE INSIDE FACE WITH 1/2" GAUGE SHEET METAL OR 1/4" THICK MAX. CENTERS AROUND THE PERIMETER, OR
 - WOOD PANEL TYPE DOORS WITH PANEL FABRICATED OF LUMBER NOT LESS THAN 5/8" THICK, PROVIDED SHAPED PORTIONS OF THE PANELS ARE NOT LESS THAN 1/4" THICK. INDIVIDUAL PANELS SHALL NOT EXCEED 300 SQ. IN. IN AREA. STILES AND RAILS SHALL BE OF SOLID LUMBER WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8" THICK AND 3 IN WIDTH. MILLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS UNLESS SIZES AS REQUIRED HEREIN FOR STILES AND RAILS. EXCEPT MILLIONS OVER 18" LONG MAY HAVE AS OVERALL WIDTH OF NOT LESS THAN 2". CARVED AREAS SHALL HAVE A THICKNESS OF NOT LESS THAN 3/8" INCH. DIMENSIONAL TOLERANCES PUBLISHED IN RECOGNIZED INDUSTRY STANDARDS MAY BE UTILIZED.
 - Door steps of in-swinging doors shall be of one-piece construction with the jamb, or joined by rabbet to the jamb.
 - WINDOW SIZE IS FOR SCHEMATIC PURPOSES. CONTRACTOR/OWNER SHALL COORDINATE APPLICABLE SIZES.
 - AVAILABLE BY MANUFACTURER OF CHOICE WITH OWNER PRIOR TO PURCHASE, WHILE MAINTAINING ALL REQUIRED CLEARANCES AND CODES.
 - ALL GLAZING MEETING ALL OF THE FOLLOWING CONDITIONS SHALL BE TEMPERED:
 - EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 8 SQUARE FEET.
 - EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
 - EXPOSED TOP EDGE IS GREATER THAN 18" ABOVE THE FLOOR.
 - ALL GLAZING MEETING ANY OF THE FOLLOWING CONDITIONS SHALL BE TEMPERED:
 - GLAZING IN INGRESS AND EGRESS DOORS EXCEPT GLAZING IN SHOWER ENCLOSURES.
 - GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS, WHIRLPOOLS, SHOWERS, ETC.
 - VERIFY HARDWARE REQUIREMENTS AND FINISHES WITH OWNER AND WINDOW MANUFACTURER PRIOR TO PURCHASE AND INSTALLATION.
 - (*) NEXT TO WINDOW SYMBOL ON PLANS AND ELEVATIONS DENOTES WINDOW TO MEET EGRESS REQUIREMENTS PER CBC SECTION 104. WINDOW DIMENSIONS LISTED IN ELEVATIONS SHALL HAVE A MINIMUM NET CLEAR AREA OF 5.7 SQUARE FEET. SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE FINISH FLOOR. WHEN WINDOW IS IN OPEN POSITION, THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20" AND THE NET CLEAR HEIGHT SHALL NOT BE LESS THAN 24". WINDOW SHALL BE OF A TYPE AND STYLE TO MATCH EXISTING AS FEASIBLE.
- PLAN NOTES:**
- ALL DIMENSIONS ARE GIVEN TO FACE OF FINISH U.O.N.
 - ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
 - COORDINATE LIGHTING & SWITCHES WITH CONTRACTOR/OWNER PRIOR TO INSTALLATION.
 - ALL DOORS TO MAINTAIN A 2" CLEARANCE TO THE SILLING SIDE OF THE DOOR.

FLOOR PLAN LEGEND

	PARTITION TYPE INDICATOR
	WINDOW OR LOUVER IDENTIFIER
	KEYNOTE INDICATOR
	FURNITURE, FIXTURE & EQUIPMENT INDICATOR
	SHOWER INDICATOR
	DOOR OPENING IDENTIFIER
	PLAN NORTH & TRUE NORTH INDICATOR
	OUTLET
	GFCL ABOVE COUNTER (A.C.)
	QUAD OUTLET
	SWITCH
	(N) DOOR
	DOOR TO BE DEMOLISHED
	(E) DOOR

WALL ASSEMBLY LEGEND

	NEW EXTERIOR WALL OF 2X @ 16" O.C. WOOD STUDS W/ 1 LAYER OF 5/8 GYP BD. ON THE INSIDE AND STUCCO ON THE OUTSIDE, FINISH TO MATCH (E) ADJACENT WALLS
	NEW INTERIOR WALL OF 2X @ 16" O.C. WOOD STUDS W/ 1 LAYER OF 5/8 GYP BD. ON BOTH SIDES
	DEMO (E) EXTERIOR OR INTERIOR WALL
	(E) EXTERIOR OR INTERIOR WALL

NOTE:
ALL WALLS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE ON PLANS OR ELEVATIONS. 1 HOUR RATING, TYPICAL GYP BD REQUIRED WHEN ADJACENT TO GARAGE AND BETWEEN THE ADJ AND MAIN HOUSE.

SHEET KEYNOTES

16	(N) WOOD STAIR TREAD AND RISER, FINISH TBS BY OWNER. 7/8" MAX RISE, 10" MIN TREAD, FLOATING STEPS
18	(N) 42" TALL HALF WALL
19	(N) VANITY CABINETS TBS BY OWNER
20	(N) VANITY SINK TBS BY OWNER
21	(N) TOILET & VENT ABOVE
22	(N) CABINET, TBS BY OWNER
24	(N) COUNTERTOP TBS BY OWNER
26	(N) SHELVING, COLOR, FINISH AND PLACEMENT BY OWNER
31	(N) BENCH AND STORAGE CABINETS BELOW, FINISH TBS BY OWNER
33	(N) FREE STANDING TUB, CONTRACTOR TO PROVIDE HOOKUPS AS REQD BY CODE. FINISH AND STYLE TBS BY OWNER
34	(N) TILED SHOWER, CONTRACTOR TO PROVIDE HOOKUPS AS REQD BY CODE. FINISH AND STYLE TBS BY OWNER. TEMPERED GLASS REQUIRED

DESIGN EVEREST
CONSULTING ENGINEERS

365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (866) 933-3653 FAX: (650) 995-1801

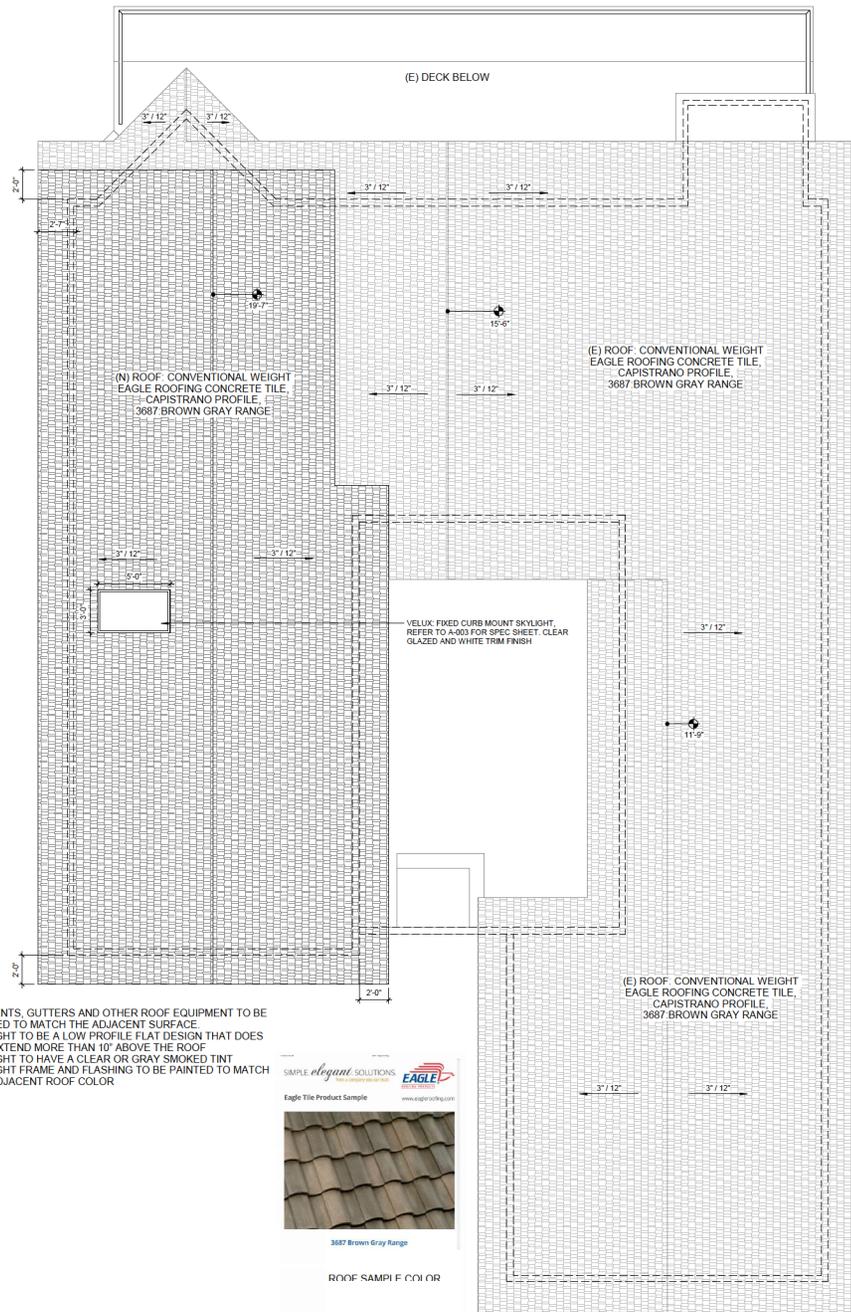
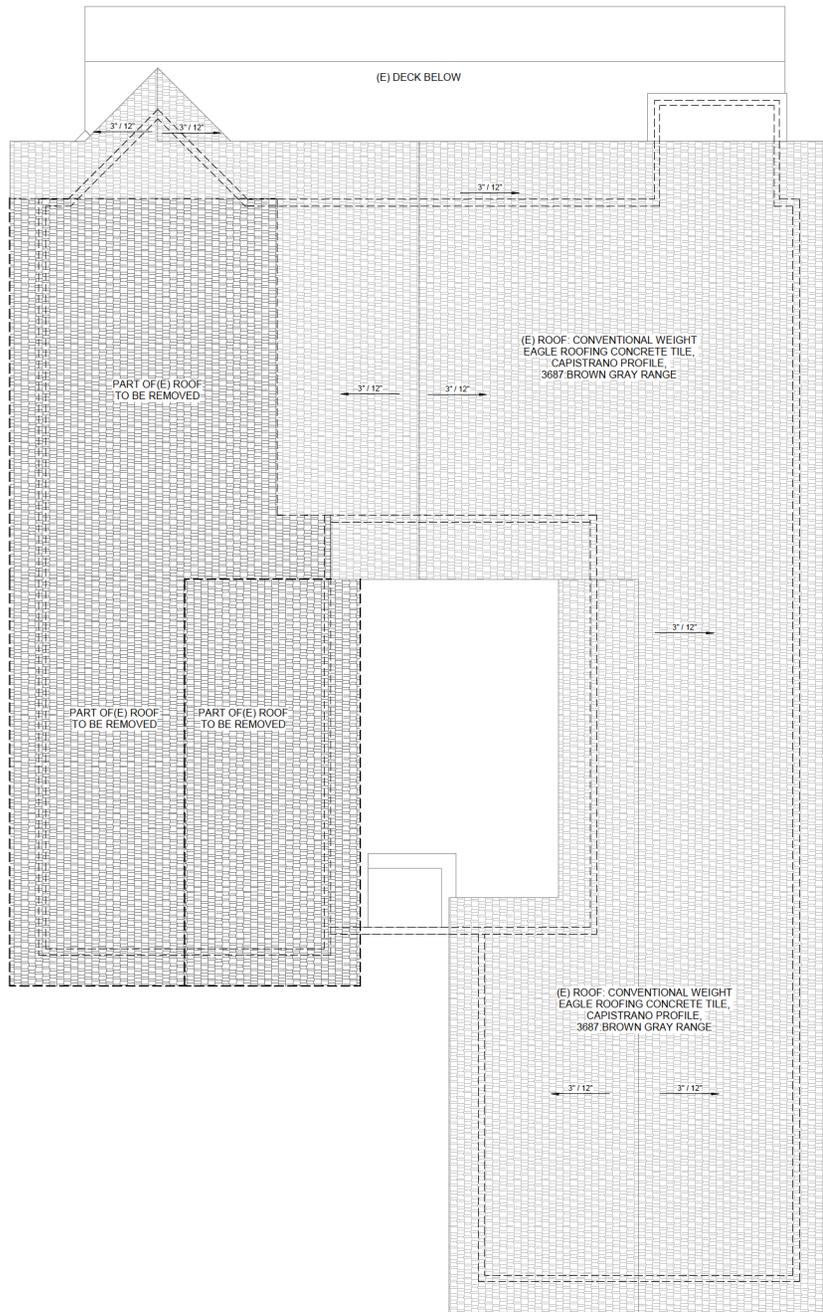
717 MATSONIA DR
PERMIT SET

SIGNED: [Signature]
DATE: 03/09/2023
SCALE: AS NOTED
DRAWN BY: AJ
CKD BY:
PROJECT#: 202201890

A-103

1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"





1. ALL VENTS, GUTTERS AND OTHER ROOF EQUIPMENT TO BE PAINTED TO MATCH THE ADJACENT SURFACE
2. SKYLIGHT TO BE A LOW PROFILE FLAT DESIGN THAT DOES NOT EXTEND MORE THAN 10" ABOVE THE ROOF
3. SKYLIGHT TO HAVE A CLEAR OR GRAY SMOCKED TINT
4. SKYLIGHT FRAME AND FLASHING TO BE PAINTED TO MATCH THE ADJACENT ROOF COLOR

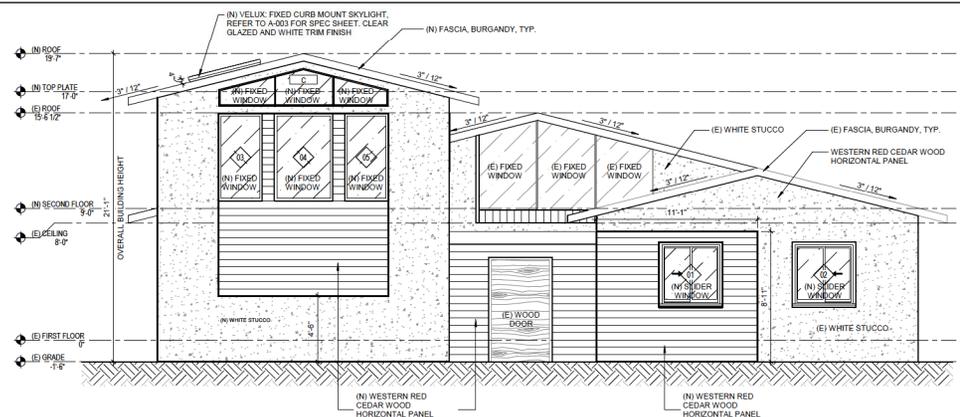
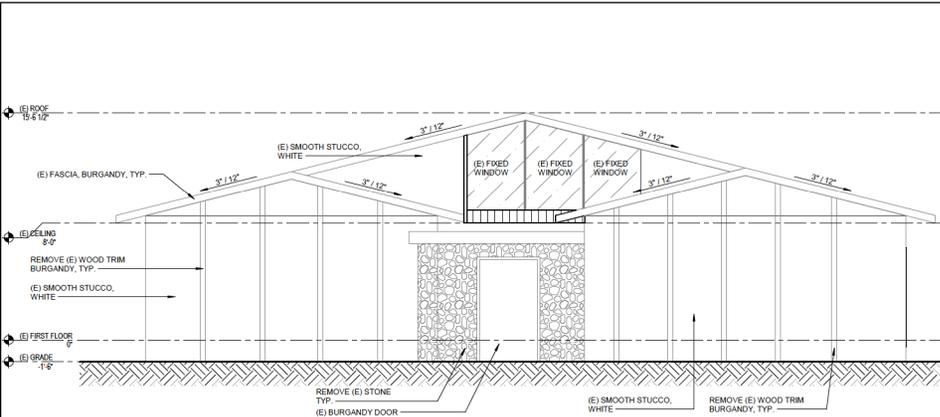
Simple elegant SOLUTIONS
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ROOF SAMPLE COLOR

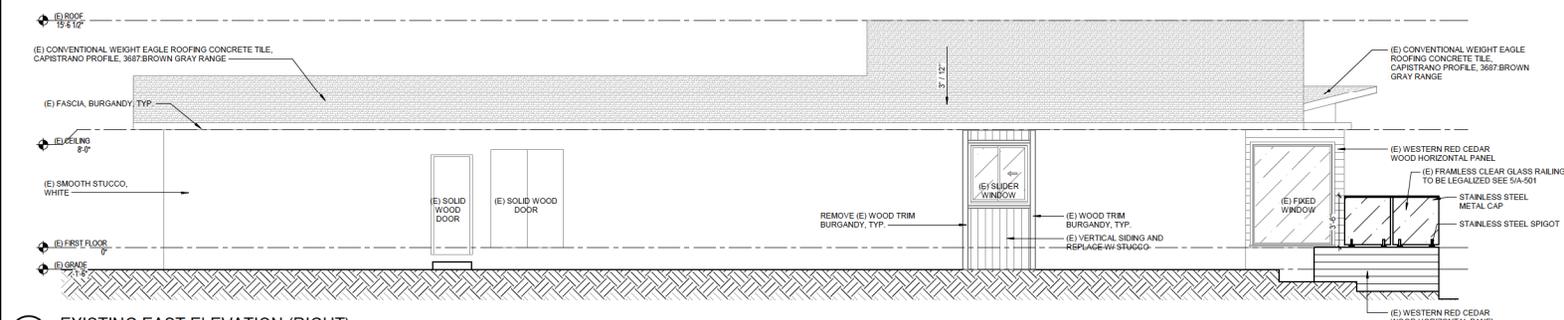


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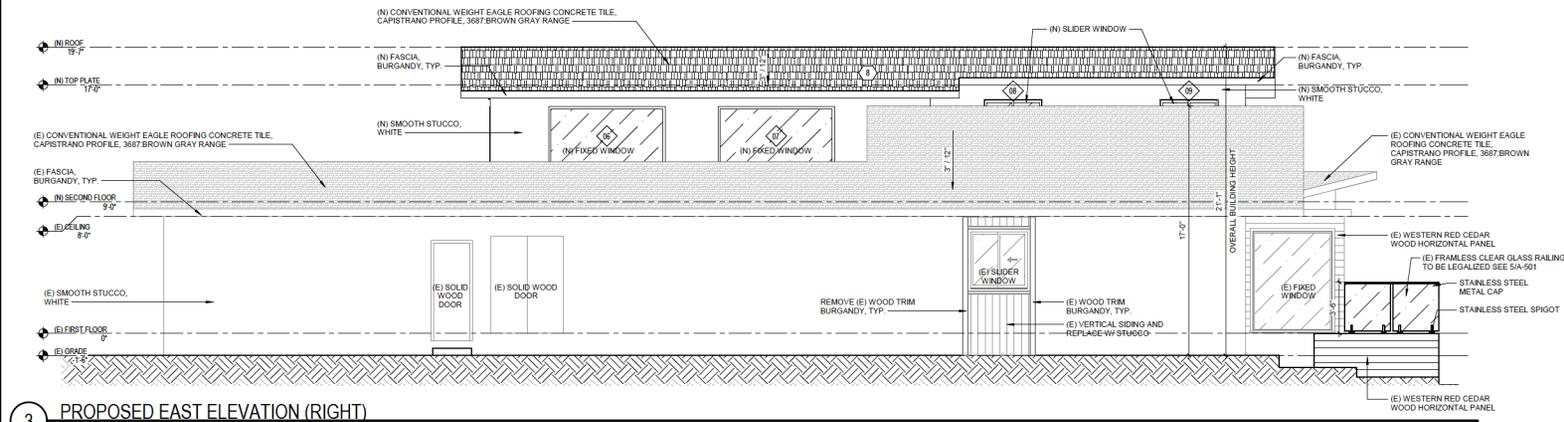


2 EXISTING SOUTH ELEVATION (FRONT)
SCALE 1/4" = 1'-0"

1 PROPOSED SOUTH ELEVATION (FRONT)
SCALE 1/4" = 1'-0"



4 EXISTING EAST ELEVATION (RIGHT)
SCALE 1/4" = 1'-0"



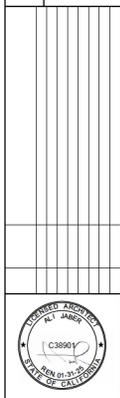
3 PROPOSED EAST ELEVATION (RIGHT)
SCALE 1/4" = 1'-0"

SHEET KEYNOTES

8 (N) CLASS "A" CONCRETE TILE ROOF, SEE A-104 FOR TYPICAL DETAILS. MATCH (E) ROOF FINISH AND STYLE.

PRODUCT & FINISH LEGEND

- ROOF: CONVENTIONAL WEIGHT EAGLE ROOFING CONCRETE TILE, CAPISTRANO PROFILE, 3688 KONA RED RANGE
 - WINDOW: PELLA VINYL WINDOW, CLEAR GLAZING, WHITE WINDOW FRAME FINISH
 - WALLS: SMOOTH FACE STUCCO FINISH, WHITE FINISH
 - WALLS: WESTERN RED CEDAR WOOD HORIZONTAL PANEL, CEDAR VALLEY SIDING SYSTEM PANELS OR EQUAL
- ALL VENTS, GUTTERS AND OTHER ROOF EQUIPMENT TO BE PAINTED TO MATCH THE ADJACENT SURFACE
 - SKYLIGHT WILL BE A LOW PROFILE FLAT DESIGN THAT DOES NOT EXTEND MORE THAN 10" ABOVE THE HEIGHT OF THE ROOF. FRAME TO BE PAINTED TO MATCH ADJACENT SURFACE.



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SOUTH VIEW (FRONT)



EAST VIEW (RIGHT)



NORTH VIEW (REAR)



WEST VIEW (LEFT)



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717 MATSONIA DR
PERMIT SET



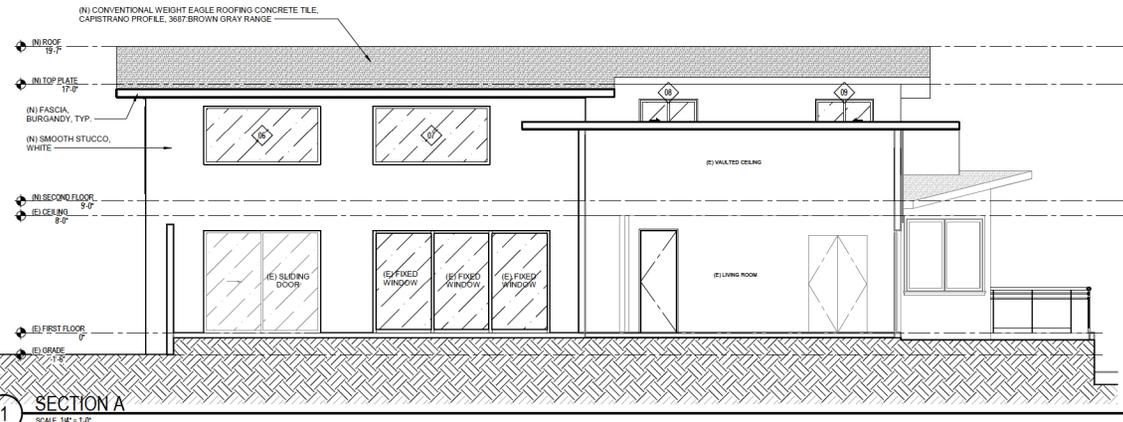
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CKD BY:
PROJECT#: 202107163

A-203

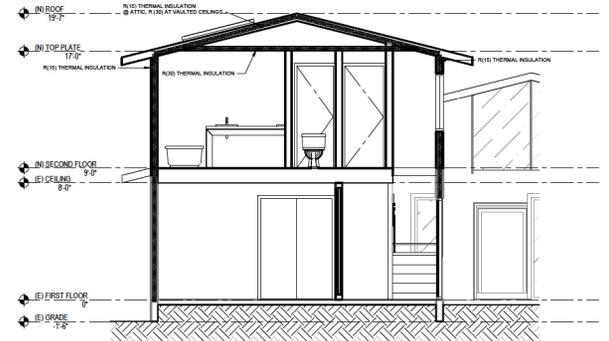


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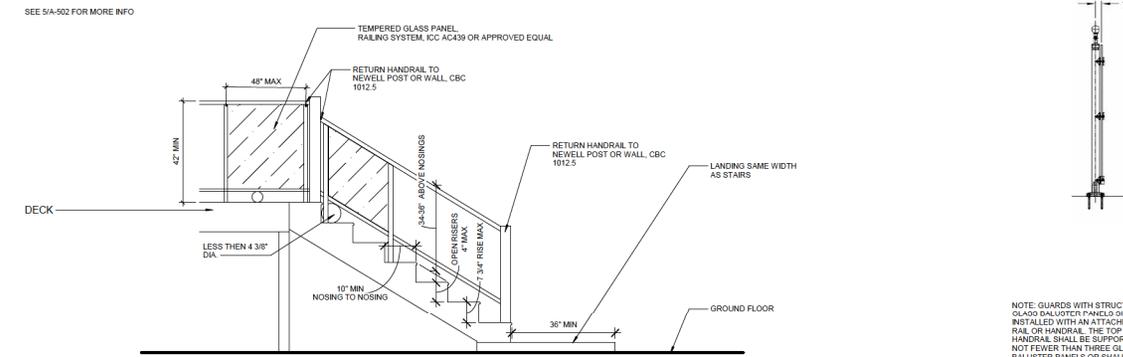
A-501



1 SECTION A
SCALE 1/4" = 1'-0"

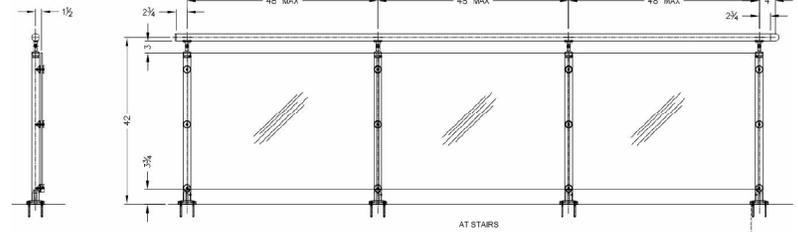


3 SECTION B
SCALE 1/4" = 1'-0"

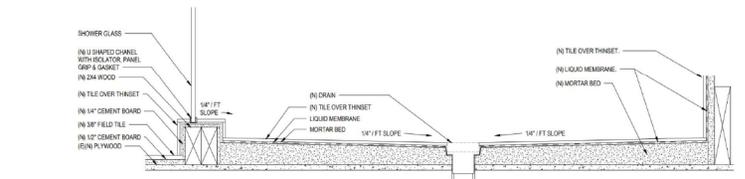


- STAIRWAY NOTES:**
1. STAIRWAYS SHALL BE NOT LESS THAN 36" IN WIDTH
 2. STAIRWAYS RISES SHALL BE NOT GREATER THAN 7 3/4"
 3. STAIRWAY TREADS SHALL HAVE A MINIMUM RUN OF 10"
 4. THE LENGTH OF RUN AND THE HEIGHT OF RISER SHALL NOT VARY MORE THAN 3/8" IN THE ENTIRE RUN OF THE STAIR
 5. STAIRS ARE REQ'D TO BE ILLUMINATED
 6. OPEN RISERS PERMITTED IF OPENING IS LESS THAN 4"
 7. A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS, AND LESS THAN 1 1/4"
 8. 2x12 D.F. NO. 1 STRINGER, REFER TO STURCTURAL FOR ADDITIONAL DETAILS

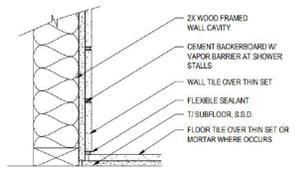
2 STAIR AND DECK RAILING REQUIREMENTS DIAGRAM
SCALE 1/2" = 1'-0"



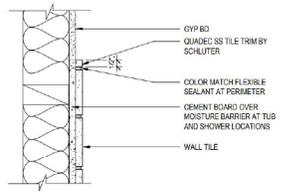
5 GLASS RAILING DETAIL
NTS



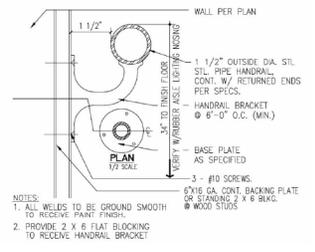
7 SHOWER DETAIL
NTS



8 TILE FLOOR TO WALL DETAIL
NTS



9 WALL TILE TRANSITION DETAIL
NTS



- NOTES:**
1. ALL WELDS TO BE GROUND SMOOTH TO RESEMBLE PAINT FINISH
 2. PROVIDE 2 X 6 FLAT BLOCKING TO RECEIVE HANDRAIL BRACKET

4 TYPICAL HANDRAIL DETAIL
NTS

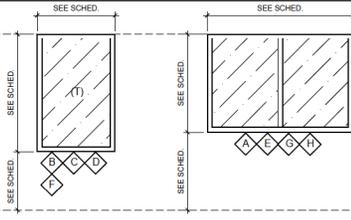
DOOR SCHEDULE				
DOOR NO	WIDTH	FRAME MATERIAL	HEIGHT	COMMENTS
001	2'-6"	WOOD	7'-0"	SWING DOOR, FINISH AND STYLE TBS BY OWNER
004	5'-0"	WOOD	7'-0"	DOUBLE POCKET DOOR, FINISH AND STYLE TBS BY OWNER
005	3'-0"	WOOD	7'-0"	SWING DOOR, FINISH AND STYLE TBS BY OWNER
006	2'-6"	WOOD	7'-0"	SWING DOOR, FINISH AND STYLE TBS BY OWNER
007	5'-0"	WOOD	7'-0"	SLIDING GLASS DOOR, FINISH AND STYLE TBS BY OWNER
008	2'-6"	WOOD	7'-0"	SWING DOOR, FINISH AND STYLE TBS BY OWNER
009	2'-6"	WOOD	7'-0"	SWING DOOR, FINISH AND STYLE TBS BY OWNER
010	2'-6"	WOOD	7'-0"	SWING DOOR, FINISH AND STYLE TBS BY OWNER
011	2'-6"	WOOD	7'-0"	SWING DOOR, FINISH AND STYLE TBS BY OWNER

CONTRACTOR TO CONFIRM ALL DOOR STYLES, FINISHES, AND HARDWARE W/ OWNER. ALL EXTERIOR DOORS SHALL BE SOLID CORE WOOD MINIMUM 1-3/8" THICK. SEE GENERAL NOTES FOR MORE REQUIREMENTS. ALL INTERIOR DOORS SHALL HAVE A WHITE FINISH PANEL AND TRIM

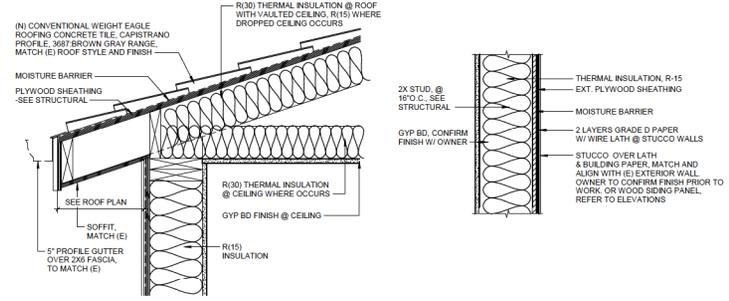
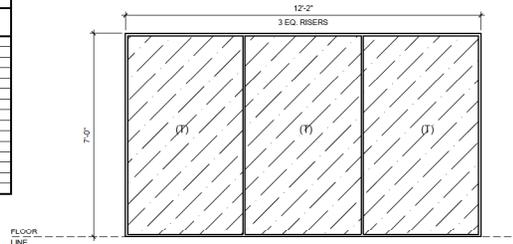
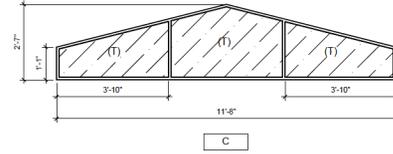
WINDOW SCHEDULE						
MARK	SIZE		Sill Height	TYPE	MATL	COMMENTS
	WIDTH	HEIGHT				
01	4'-0"	4'-0"	2'-6"	A	ALUM	SLIDER WINDOW, FINISH AND STYLE TBS BY OWNER
02	4'-0"	4'-0"	2'-6"	A	ALUM	SLIDER WINDOW, FINISH AND STYLE TBS BY OWNER
03	3'-0"	6'-0"	6"	B	ALUM	FIXED WINDOW, FINISH AND STYLE TBS BY OWNER. TEMPERED GLASS REQUIRED
04	4'-0"	6'-0"	6"	C	ALUM	FIXED WINDOW, FINISH AND STYLE TBS BY OWNER. TEMPERED GLASS REQUIRED
05	3'-0"	6'-0"	6"	B	ALUM	FIXED WINDOW, FINISH AND STYLE TBS BY OWNER. TEMPERED GLASS REQUIRED
06	5'-0"	4'-0"	2'-6"	D	ALUM	FIXED WINDOW, FINISH AND STYLE TBS BY OWNER. TEMPERED GLASS REQUIRED
07	5'-0"	4'-0"	2'-6"	D	ALUM	FIXED WINDOW, FINISH AND STYLE TBS BY OWNER. TEMPERED GLASS REQUIRED
08	4'-0"	3'-0"	4'-0"	E	ALUM	SLIDER WINDOW, FINISH AND STYLE TBS BY OWNER
09	4'-0"	3'-0"	4'-0"	E	ALUM	SLIDER WINDOW, FINISH AND STYLE TBS BY OWNER
10	3'-0"	4'-0"	3'-6"	F	ALUM	FIXED WINDOW, FINISH AND STYLE TBS BY OWNER. TEMPERED GLASS REQUIRED
11	4'-0"	3'-0"	4'-0"	E	ALUM	SLIDER WINDOW, FINISH AND STYLE TBS BY OWNER
12	7'-0"	3'-0"	4'-0"	G	ALUM	SLIDER WINDOW, FINISH AND STYLE TBS BY OWNER. TEMPERED GLASS REQUIRED
13	4'-0"	3'-0"	4'-0"	E	ALUM	SLIDER WINDOW, FINISH AND STYLE TBS BY OWNER
14	5'-0"	2'-0"	5'-0"	H	ALUM	SLIDER WINDOW, FINISH AND STYLE TBS BY OWNER. TEMPERED GLASS REQUIRED. FROSTED GLASS

TOP OF OPENING

- NOTES:
 1. TOP OF (N) WINDOWS TO ALIGN W/ TOP OF (E) ADJACENT WINDOWS
 2. MAX L-FACTOR = 30
 3. MAX S-FACTOR = 35
 4. (T) TEMPERED WHERE INDICATED
 5. MATCH (E) WINDOW FINISH, TYP
 6. SEE GENERAL NOTES FOR MORE REQUIREMENTS
 7. VINYL ALUMINUM FRAME
 8. WHITE FINISH



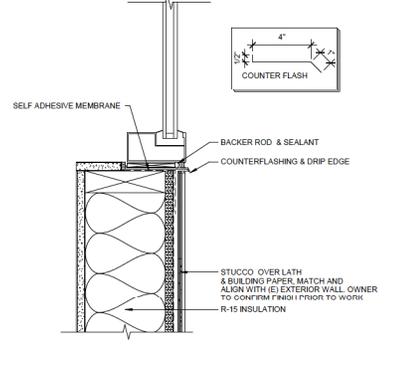
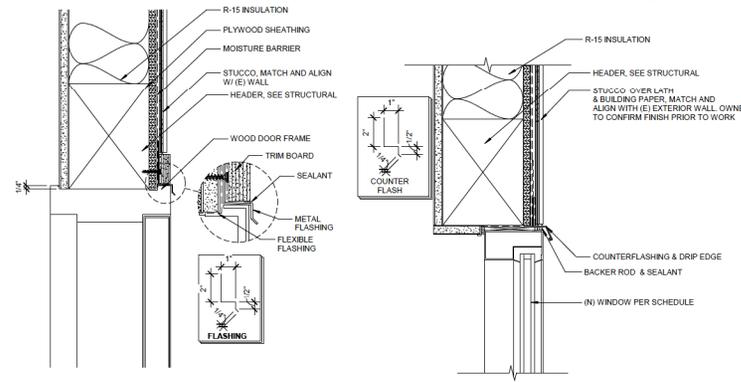
FLOOR LINE



1 WINDOW TYPES LEGEND SCALE 1/2" = 1'-0"

14 TYP EXTERIOR ROOF DETAIL SCALE 1/2" = 1'-0"

15 EXTERIOR WALL TYPE SCALE 1/2" = 1'-0"



8 GLASS PARTITION HEAD NTS

10 GLASS PARTITION JAMB NTS

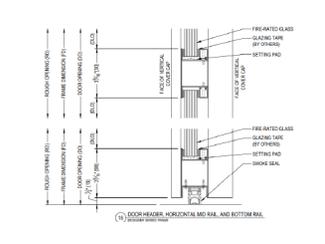
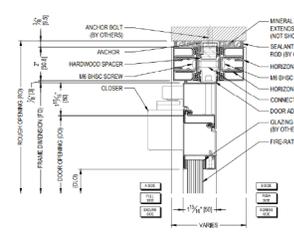
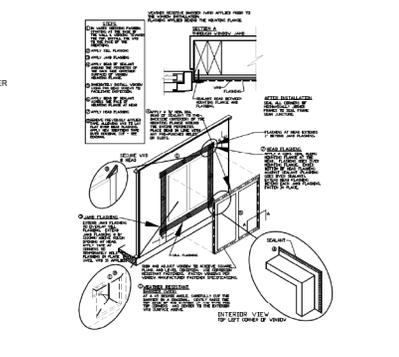
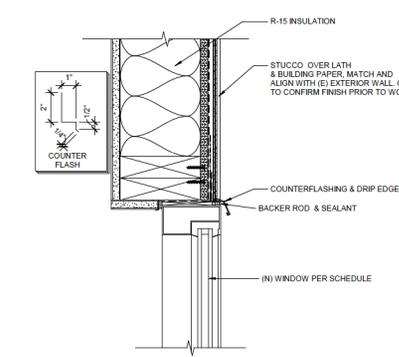
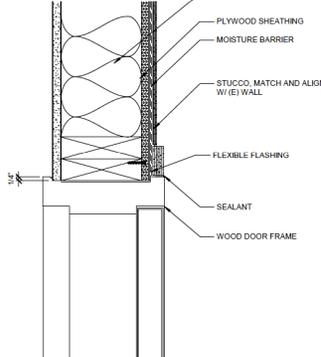
2 EXTERIOR DOOR HEAD DETAIL SCALE 3/4" = 1'-0"

4 EXTERIOR WINDOW HEAD DETAIL SCALE 3/4" = 1'-0"

5 EXTERIOR WINDOW SILL DETAIL SCALE 3/4" = 1'-0"

9 GLASS PARTITION SILL NTS

11 GLASS DOOR JAMB NTS



3 EXTERIOR DOOR JAMB DETAIL SCALE 3/4" = 1'-0"

7 EXTERIOR WINDOW JAMB DETAIL SCALE 3/4" = 1'-0"

6 WINDOW INSTALLATION NTS

13 GLASS DOOR HEAD NTS

12 GLASS DOOR SILL NTS



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