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TITLE 24: (PART 2) 2022 CALIFORNIA BUILDING CODE
TITLE 24: (PART 2.5) 2022 CALIFORNIA RESIDENTIAL CODE
TITLE 24: (PART 3) 2022 CALIFORNIA ELECTRICAL CODE
TITLE 24: (PART 4) 2022 CALIFORNIA MECHANICAL CODE
TITLE 24: (PART 5) 2022 CALIFORNIA PLUMBING CODE
TITLE 24: (PART 6) 2022 CALIFORNIA ENERGY CODE
TITLE 24: (PART 9) 2022 CALIFORNIA FIRE CODE
TITLE 24: (PART 11) 2022 CALIFORNIA GREEN BUILDING STANDARDS
CITY OF FOSTER CITY MUNICIPAL CODE

THE PROJECT CONSISTS OF A SECOND STORY ADDITION OF 960 SF TO AN EXISTING 1-STORY SINGLE FAMILY HOME.


ADDRESS: 717 MATSONIA DR
FOSTER CITY, CA 94404

FLOOR AREA:
(E) 1ST FLOOR AREA: 2,220 SF
(E) GARAGE AREA: 510 SF
(E) UTILITY STORAGE: 22 SF
(E) TOTAL BUILDING AREA: 2,752 SF
(E) DECK: 400 SF

FLOOR DESCRIPTION:
-APN # 094030360
-LOT 221 FOSTER CITY NEIGHBORHOOD NO 1 UNIT NO
1 RSM 57524 41
-LOT AREA = 8,127 SQ FT
-CONSTRUCTION TYPE - V-B
-ZONE - R-1 (RESIDENTIAL)
-OCCUPANCY R-3 (RESIDENTIAL) /U (GARAGE)

PROPOSED 2ND FLOOR ADDITION AREA: 960 SF
(N) TOTAL BUILDING AREA: 3,712 SF
(N) DECK: 184 SF
LOT COVERAGE: 41.19%
TOTAL LOT NO CHANGE PROPOSED

ARCHITECT	OWNER
DESIGN EVEREST 365 FLOWER LANE MOUNTAIN VIEW, CA 94043 PHONE: 888-311-3015	AYUSH PARASHAR 717 MATSONIA DR FOSTER CITY, CA 94404

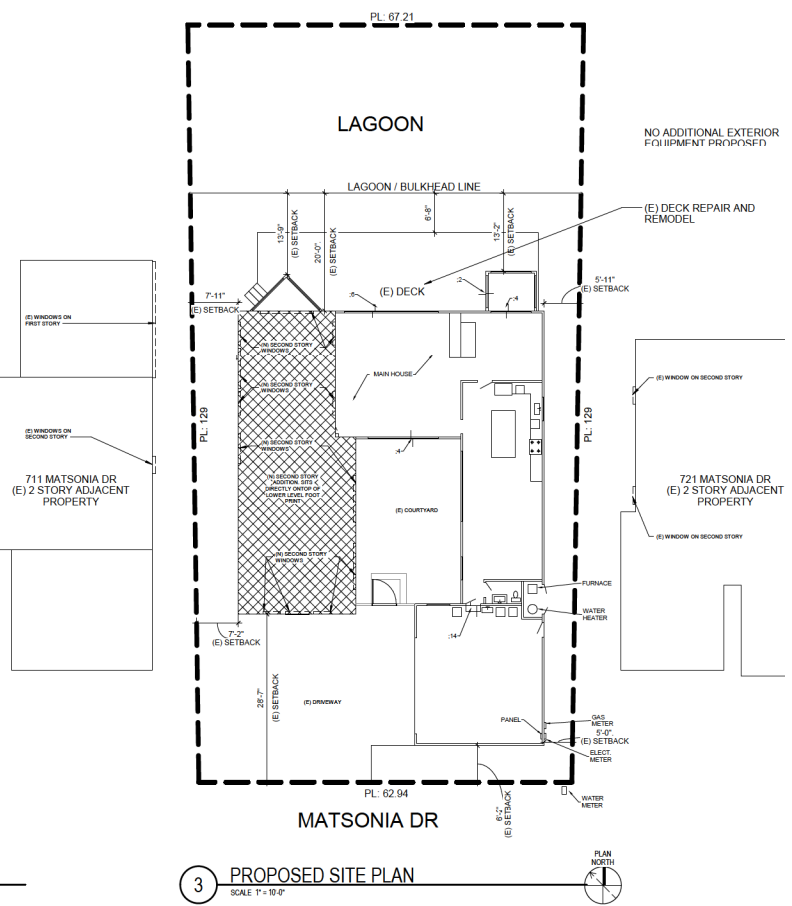


SIGN DATE: 03/09/2023
DATE: 03/09/2023
SCALE: AS NOTED
DRAWN BY: AJ
CKD BY:
PROJECT#: 202201090

A-001



SECTION	DIMENSIONS	AREA
A	52X19.8	1,030
B	22X17.9	394
C	49X14.2	700
D	22X23.1	510
E	3.5X6.2	22
F		38
G	8.6X6.7	58
FIRST STORY TOTAL		2,752
H	21.5X16.5	356
J	20X30.2	604
SECOND STORY TOTAL		960
TOTAL FLOOR AREA		3,712
LOT COVERAGE		42.11%



CERTIFICATE OF COMPLIANCE			Calculation Date/Time: 2022/01/26 14:52:27 (V)			COPY-PRINT CODE
Project Name: 725 Mainway Drive (A2)			Project Name: 725 Mainway Drive (A2)			Sheet: 1 of 60
Calculation Description: Type 2 (A2)(V)			Calculation Description: Type 2 (A2)(V)			
GENERAL INFORMATION						
01	Project Name	725 Mainway Drive (A2)	01	Standard Version	2017	
02	Run Type	Full	02	Software Version	Empress 5.5	
03	Project Location	725 Mainway Drive	03	Input Orientation (Ang. Centroid)	126	
04	City	Mississauga	04	Number of Building Units	1	
05	File Location		05	Number of Stories	1	
06	Project Name	725 Mainway Drive (A2)	06	Residential Average of Units	1	
07	Building Type	Single House	07	Residential Average of Units	1	
08	Climate Zone	Intermediate	08	Climate Zone	Intermediate	
09	Climate Zone	Intermediate	09	Climate Zone	Intermediate	
10	Building Code	2015	10	Building Code	2015	
11	Building Code	2015	11	Building Code	2015	
12	Building Code	2015	12	Building Code	2015	
13	Building Code	2015	13	Building Code	2015	
14	Building Code	2015	14	Building Code	2015	
15	Building Code	2015	15	Building Code	2015	
16	Building Code	2015	16	Building Code	2015	
17	Building Code	2015	17	Building Code	2015	
18	Building Code	2015	18	Building Code	2015	
19	Building Code	2015	19	Building Code	2015	
20	Building Code	2015	20	Building Code	2015	
21	Building Code	2015	21	Building Code	2015	
22	Building Code	2015	22	Building Code	2015	
23	Building Code	2015	23	Building Code	2015	
24	Building Code	2015	24	Building Code	2015	
25	Building Code	2015	25	Building Code	2015	
26	Building Code	2015	26	Building Code	2015	
27	Building Code	2015	27	Building Code	2015	
28	Building Code	2015	28	Building Code	2015	
29	Building Code	2015	29	Building Code	2015	
30	Building Code	2015	30	Building Code	2015	
31	Building Code	2015	31	Building Code	2015	
32	Building Code	2015	32	Building Code	2015	
33	Building Code	2015	33	Building Code	2015	
34	Building Code	2015	34	Building Code	2015	
35	Building Code	2015	35	Building Code	2015	
36	Building Code	2015	36	Building Code	2015	
37	Building Code	2015	37	Building Code	2015	
38	Building Code	2015	38	Building Code	2015	
39	Building Code	2015	39	Building Code	2015	
40	Building Code	2015	40	Building Code	2015	
41	Building Code	2015	41	Building Code	2015	
42	Building Code	2015	42	Building Code	2015	
43	Building Code	2015	43	Building Code	2015	
44	Building Code	2015	44	Building Code	2015	
45	Building Code	2015	45	Building Code	2015	
46	Building Code	2015	46	Building Code	2015	
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48	Building Code	2015	48	Building Code	2015	
49	Building Code	2015	49	Building Code	2015	
50	Building Code	2015	50	Building Code	2015	
51	Building Code	2015	51	Building Code	2015	
52	Building Code	2015	52	Building Code	2015	
53	Building Code	2015	53	Building Code	2015	
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55	Building Code	2015	55	Building Code	2015	
56	Building Code	2015	56	Building Code	2015	
57	Building Code	2015	57	Building Code	2015	
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60	Building Code	2015	60	Building Code	2015	
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62	Building Code	2015	62	Building Code	2015	
63	Building Code	2015	63	Building Code	2015	
64	Building Code	2015	64	Building Code	2015	
65	Building Code	2015	65	Building Code	2015	
66	Building Code	2015	66	Building Code	2015	

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OFFICIAL SUBMITTAL CONSTRUCTIONS			CITY OF LOS ANGELES				CALCULATION DATA/TYPE: 2018-08-08T18:18:57.000		CIPR-001	
Project Name: 717 Miravos Drive RD2			Calculation Information: TYP A (4x4x4)		Input File Name: 111111_001.rvt(111111)				Page 6 of 6	
01	02	03	04	05	06	07	08	09	10	11
Construction Name	Surface Type	Construction Type	Finishing	Year Added	Category / Location	Material	Assembly Name			
0-15 MM	Exterior Insulation	Wood Framed Stud	2x4 @ 16" o. c. C.	0-15	None / None	0.055	Insulate Minus (Ignore Board)	Exterior / Frame 0-15 (2x4)		
A-10 Ceiling @ 1-15 Feet	Cathedral Ceiling	Wood Framed Ceiling	2x4 @ 16" o. c. C.	0-30	1-15 / None	0.033	Roofing: Light Insulation (Straight)	Exterior / Frame 0-15 (2x4)		
A-30 Roof No INS.	Cathedral Ceiling	Wood Framed Ceiling	2x12 @ 16" o. c. C.	0-30	None / None	0.086	Roofing: Light Insulation (Straight)	Exterior / Frame 0-30 (2x12)		
Attic: Roofed Floor Zone	Attic: Roof	Wood Framed Ceiling	2x4 @ 16" o. c. C.	0-15	None / None	0.17	Roofing: Light Insulation (Straight)	Exterior / Frame 0-15 (2x4)		
B-10 Ceiling @ 1-15 Feet	Ceiling (Below Slab)	Wood Framed Ceiling	2x4 @ 16" o. c. C.	0-30	None / None	0.032	Roofing: Light Insulation (Straight)	Exterior / Frame 0-15 (2x4)		
R-10 Floor No Cauldrons	Insulator Floor	Wood Framed Floor	2x12 @ 16" o. c. C.	0-0	None / None	0.136	Floor Surface: Carpeted	Exterior / Frame 0-0 (2x12)		

[illegible][illegible]

CERTIFICATE OF COMPLIANCE Project Name: 717 Morris Drive ADU Calculation Information: Time As Assessed	Calculation Date/Time: 2020-08-08T18:15:07.00 Input File Name: 717171_ADU_080820	CSP# 001-001 Page 6 of 6
CALCULATION AUTHOR'S DECLARATION STATEMENT		
I, <u>Locally</u> , that this Certificate of Compliance documentation is accurate and complete.		
Declaration/Signature Name: _____		
Health Box: _____		
Signature: _____		
Provider: Green Consulting Inc.		
Address: 1823 Ungerboeck Ave.		
City: Oakville		
Province: Ontario		
Postal Code: M6H 4S6		
RESPONSIBLE PERSON'S DECLARATION STATEMENT		
I, <u>Locally</u> , the following person or persons, under the name used on the title of this certificate:		
1. <u>Locally</u> agree upon and discuss all of the factors and information used in assessing compliance for the building design described on this Certificate of Compliance.		
2. <u>Locally</u> agree that the design and/or performance of the project complies with all provisions of applicable codes and standards in its requirements of the Act, Part 1 and Part 2 of the California Code of Regulations, and that the design and/or performance of the project complies with all provisions of applicable codes and standards in its requirements of the Act, Part 1 and Part 2 of the California Code of Regulations.		
3. <u>Locally</u> agree that the design and/or performance of the project complies with all provisions of applicable codes and standards in its requirements of the Act, Part 1 and Part 2 of the California Code of Regulations, and that the design and/or performance of the project complies with all provisions of applicable codes and standards in its requirements of the Act, Part 1 and Part 2 of the California Code of Regulations.		
Declaration/Signature Name: _____		
Signature: _____		
Title: _____		
Company: _____		
Address: 1823 W. Burkland Ave.		
City: Oakville		
Province: Ontario		
Postal Code: M6H 4S6		

Registration Number: 423-P100858644-000-000-0000000-0000	Registration Date/Time: 06/10/2022 08:37	HERS Provider: CHEERS
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CA Building Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2019.2.000	Report Generated: 2022-06-08 18:15:37
	Schema Version: ver 20200901	

Registration Number: 423-P010858644-000-000-0000000-0000	Registration Date/Time: 06/15/2022 08:37	HERS Provider: CHEDRS
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CA Building Energy Efficiency Standards - 2019 Residential Compliance	Schema Version: rev 20200301	

Registration Number: 422-PG19080404-000-000-00000000-0000 Registration Date/Time: 06/10/2022 08:07 HERS Provider: CHEERS
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CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.2.000 Report Generated: 2022-06-08 18:15:37
Schema Version: rev 20200903

Registration Number: 423-P10080644-000-000-000000-0000 Registration Date/Time: 06/10/2022 08:37 HERS Provider: CHEDRS
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 CE Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.2.000 Report Generated: 2022-06-08 18:15:37
 Schema Version: ver 20200901

PLAN NOTES

1. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULLBOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. ANY VIOLATION MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
2. AN APPROVED SEISMIC GAS SHUT-OFF VALVE MUST BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BEADJUSTED TO THE CHARGING PRESSURE OF THE UTILITY. THE UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
3. KITCHEN SINKS, LAVATORYS, BATHTUBS, SHOWERS, BIEETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.
4. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALLS SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 4 FEET ABOVE THE FLOOR (R307.2).
5. PROVIDE ULTRA-LOW FLUSH WATER CLOSURES FOR ALL NEW CONSTRUCTIONS. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
6. WATER HEATER MUST BE STRAPPED TO WALL. (SEC. 507.3, LAPC)
7. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325 (R309.4).
8. SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY, UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000) (R314.2.2).
9. WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS (\$1,000), EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.2. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE RESIDENTIAL DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED (R315.2.2).
10. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1.2)
11. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
12. PROVIDE MIN. 34" CLEAR IN FRONT OF THE WATER CLOSET.
13. PROVIDE MIN. 30" CLEAR WIDTH FOR THE WATER CLOSET.
14. HANDRAIL 34" ABOVE THE STAIR NOSING PER APPLICABLE CBC.
15. 42" HIGH GUARDRAIL, PER APPLICABLE CBC.
16. DRYER, VENT HORIZONTAL TO OUTSIDE W/ BACKDRAFT DAMPER ROOF ABOVE.
17. BASEMENT BELOW.
18. 50" TYPE "D" OTD IN THE GARAGE AND UNDER STAIRS AT ENCLOSED USABLE SPACE W/ 60 COOLER NALS @T 0°C.
19. ULTRA-LOW CONSUMPTION WATER CLOSET (1.2 GALLONS/FLUSH).
20. PROVIDE COPPER WATER LINE FOR ICE MAKER.
21. PROVIDE WATER AND BATHING FOR UNDESSSED BOX AT INTERIOR LOCATIONS.
22. ELECTRICAL SERVICE PANEL.
23. SHOWER DRAIN IN FLOOR WITH WASHING, CONN TO 1 1/2" DIA ABS PIPE W/ 1/4" PER FOOT SLOPED TO EXT.
24. 30" WIDE COVE JOINT, BUILT-IN HOOD WITH LIGHT AND VENT TO OUTSIDE.
25. PROVIDE IN-HOUSE LOCATIONS TO BE TEMPERED.
26. A. PANELS IN SLIDING OR SWINGING DOORS.
27. B. DOORS AND DOOR FRAMES TO BATHTUBS, SHOWERS (ALSO GLAZED IN WALL ENCLOSED THESE COMPARTMENTS WITHIN 5 FT. OF STANDING SURFACE).
28. C. GLAZING IN FIXED GLAZED PANELS TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN 24 INCHES FROM 60 INCHES ABOVE THE WALKING SURFACE.
29. C. AT ARCHITECTURAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
30. EACH WATER CLOSET MUST BE PROVIDED WITH A 1/4" DIA FAN FAN SPACE 1" PER 100 SQ IN WITHIN AND HAVE A MINIMUM 1/4" DIA FAN SPACE IN FRONT OF NOT LESS THAN 24" MAXIMUM 1.6 GALLONS/FLUSH FOR ALL TIT WATER CLOSURES.
31. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS.
32. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10 FOOT INTERVALS ABOVE THE LENGTH OF THE WALL.
33. A. AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVERED CEILINGS.
34. B. IN CONCEALED SPACES BETWEEN STAR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALL UNDER THE STAIRS IS UNFINISHED.
35. D. UNFINISHED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS.
36. E. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT 10 FOOT INTERVALS ABOVE THE LENGTH OF THE WALL.
37. PROVIDE 6" NON-CLEARANCES ON THE SIDES, BACK FRONT AND CEILING OF THE FURNACE.
38. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULLBOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES, WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. ANY VIOLATION MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
39. PROVIDE ULTRA-LOW FLUSH WATER CLOSURES FOR ALL NEW CONSTRUCTIONS. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
40. PROVIDE 7" HIGH NON-ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE.
41. WATER HEATER MUST BE STRAPPED TO WALL.
42. UNDER FLOOR TANKS, UNDER FLOOR AREA SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
43. A. THE TOP OF THE OPENING SHALL BE LOCATED NOT MORE THAN 12 INCHES BELOW THE BOTTOM OF THE FLOOR JOIST.
44. B. THE OPENINGS SHALL BE DISTRIBUTED APPROXIMATELY EQUALLY AND LOCATED TO PROVIDE CROSS VENTILATION. FOR EXAMPLE, BE LOCATING THE OPENING ALONG THE LENGTH OF AT LEAST TWO OPPOSITE SIDES OF THE BUILDING.
45. C. THE OPENINGS SHALL BE THE LARGER OF 1 SQUARE FEET FOR EACH 25 LINEAR FEET OR FRACTION OF EXTERIOR WALL, OR OPENINGS SHALL EQUAL THE AREA OF THE OPENINGS MAY BE COVERED WITH CORROSION RESISTANT WIRE MESH WITH MESH.
46. PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM.
47. KITCHEN SINKS, LAVATORYS, BATHTUBS, SHOWERS, BIEETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY.
48. THE FLOW RATES FOR ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES SPECIFIED IN SECTION 4.303.1.
49. MULTI-FAMILY DWELLINGS NOT EXCEEDING THREE STORIES AND CONTAINING 50 UNITS OR LESS SHALL INSTALL A SEPARATE METER OR SUMMER WITHIN COMMON AREAS AND WITHIN EACH INDIVIDUAL DWELLING UNIT.
50. FOR PROJECTS THAT INCLUDE LANDSCAPE WORK, THE LANDSCAPE CERTIFICATION, FORM R301.21, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
51. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIEETS (4.305.4.1).
52. BUILDING EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOWDOWN) OR HAVE A MINIMUM OF 50% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES (4.305.3.1).
53. BUILDING EXCEEDING 25 STORIES SHALL HAVE COOLING TOWERS WITH MINIMUM OF 6 CYCLES OF CONCENTRATION (BLOWDOWN) AND HAVE A MINIMUM OF 100% OF MAKEUP WATER SUPPLY TO COOLING TOWERS COME FROM NON-POTABLE WATER SOURCES (4.305.3.2).
54. WHERE GROUNDWATER IS BEING EXTRACTED AND DISCHARGED, A SYSTEM FOR ONSITE REUSE OF THE GROUNDWATER SHALL BE DEVELOPED AND CONSTRUCTED IF THE GROUNDWATER WILL NOT BE DISCHARGED TO THE SEWER (4.305.4).
55. THE HOT WATER SYSTEM SHALL NOT ALLOW MORE THAN 40 GALLONS OF WATER TO BE DELIVERED TO ANY FUTURE OF HOT WATER APPLIANCE.
56. MATERIALS DELIVERED TO THE CONSTRUCTION SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.
57. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, OR SHEET METAL UNTIL THE FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT.
58. ARCHITECTURAL PAINTS AND COATINGS, ADHESIVES, CAULKS AND SEALANTS SHALL COMPLY WITH THE VOLATILE ORGANIC COMPOUND (VOC) LIMITS LISTED IN TABLE 4.504.1-4.504.3.
59. THE VOC CONTENT VERIFICATION CHECKLIST, FORM R301.2, SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL.
60. MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT LIMITS SHALL BE AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION (4.504.2.4).
61. ALL NEW CARPET, INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE TESTING AND PRODUCT REQUIREMENTS OF ONE OF THE FOLLOWING:
62. A. CARPET AND RUG INSTITUTES' GREEN LABEL PLUS PROGRAM.
63. B. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH'S SPECIFICATION 01350.
64. C. CARPET AND RUG INSTITUTES' GREEN LABEL PLUS PROGRAM.
65. D. SCIENTIFIC CERTIFICATION SYSTEMS INDOOR ADVANTAGE® GOLD (4.504.3).
66. E. ALL NEW CARPET CUSHION INSTALLED IN THE BUILDING INTERIOR SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE, GREEN LABEL PLUS PROGRAM.
67. NEW HARDWOOD FLOORING, PARTICULATE BOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED IN THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL BE INSTALLED IN ACCORDANCE WITH TABLE 4.504.5.
68. THE FORMALDEHYDE EMISSIONS VERIFICATION CHECKLIST, FORM R301.3, SHALL BE COMPLETED PRIOR TO FINAL INSPECTION APPROVAL.
69. THE MANUFACTURER'S SPECIFICATIONS SHOWING FORMALDEHYDE EMISSIONS SHALL BE AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.
70. AN APPROVED MECHANICAL SYSTEM SHALL BE PROVIDED FOR EACH DWELLING UNIT OR SLEEPING UNIT, INCLUDING ACCESS TO A SLEEPING ROOM AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE SO THAT ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT AND SLEEPING UNITS.
71. SMOKE ALARMS SHALL BE PROVIDED WITH BATTERY BACKUP AND LOW BATTERY SIGNAL.
72. AN APPROVED BATTERY BACKUP SHALL BE INSTALLED IN DWELLING UNITS AND IN SLEEPING UNITS WITHIN WHICH FUEL BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. CARBON MONOXIDE ALARM SHALL BE PROVIDED OUTSIDE OF EACH RESIDENTIAL DWELLING UNIT AND SLEEPING UNIT. CARBON MONOXIDE ALARMS SHALL BE PROVIDED OUTSIDE OF A DWELLING UNIT AND SLEEPING UNIT.
73. MAXIMUM DRIVEWAY CROSS SLOPE IS 20%.
74. MAXIMUM DRIVEWAY CROSS SLOPE IS 10%.
75. MAXIMUM DRIVEWAY CROSS SLOPE IS 10%.
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PLAN NOTES

1. FOR FUTURE INSTALLATION OF ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE) IN EACH ONE AND TWO FAMILY DWELLING AND TOWN HOUSES IN ACCORDANCE WITH SECTION 110.1.
2. A. SHOW ON PLANS THAT A MINIMUM 1" LISTER RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE THE EVSE. THE EVSE SHALL BE INSTALLED IN A LOCATION THAT IS ACCESSIBLE TO THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN THE CLOSET TO THE PROPOSED LOCATION OF THE CHARGING STATION.
3. B. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACED RESERVATION TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVER THE LOCATION OF THE CHARGING STATION.
4. C. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER CURRENT PROTECTIVE DEVICE (OCPD) AND THE LOCATION OF THE CHARGING STATION.
5. D. THE TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED BY CAPABLE.
6. E. THE TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED BY CAPABLE.
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VELUX FIXED CURB MOUNT SKYLIGHT

FCM Fixed Skylight Technical Product Data Sheet

Description

- FCM Fixed Curb Mount Skylight that mounts to a sloped roof and provides a clear view of the sky. The skylight provides natural light and ventilation. The skylight is made of polycarbonate or glass. The skylight is available in various sizes and colors. The skylight is easy to install and maintain.

Installation

- Do not exceed the maximum load capacity of the skylight.
- Do not exceed the maximum wind speed of the skylight.
- Do not exceed the maximum snow load of the skylight.
- Do not exceed the maximum hail size of the skylight.
- Do not exceed the maximum temperature of the skylight.
- Do not exceed the maximum humidity of the skylight.
- Do not exceed the maximum vibration of the skylight.
- Do not exceed the maximum seismic activity of the skylight.
- Do not exceed the maximum fire rating of the skylight.
- Do not exceed the maximum sound rating of the skylight.
- Do not exceed the maximum UV radiation of the skylight.
- Do not exceed the maximum ozone level of the skylight.
- Do not exceed the maximum air quality of the skylight.
- Do not exceed the maximum water level of the skylight.
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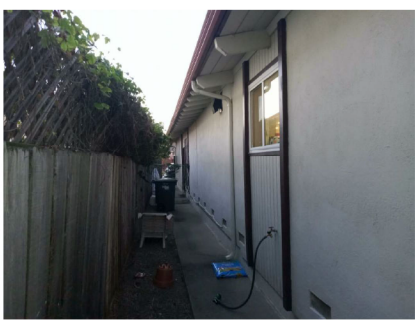
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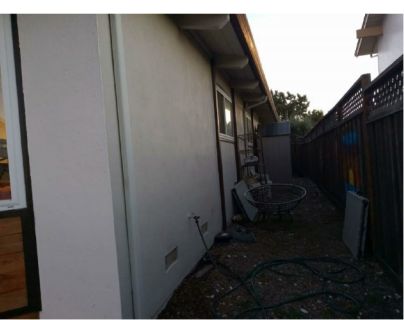
COURTYARD



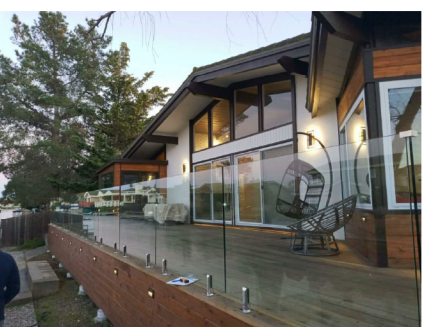
SIDE



SIDE




BACK




BACK



**DESIGN EVEREST**
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
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717 MATSONIA DR
PERMIT SET



SIGN

DATE: 03/09/2023

DATE: 03/09/2023

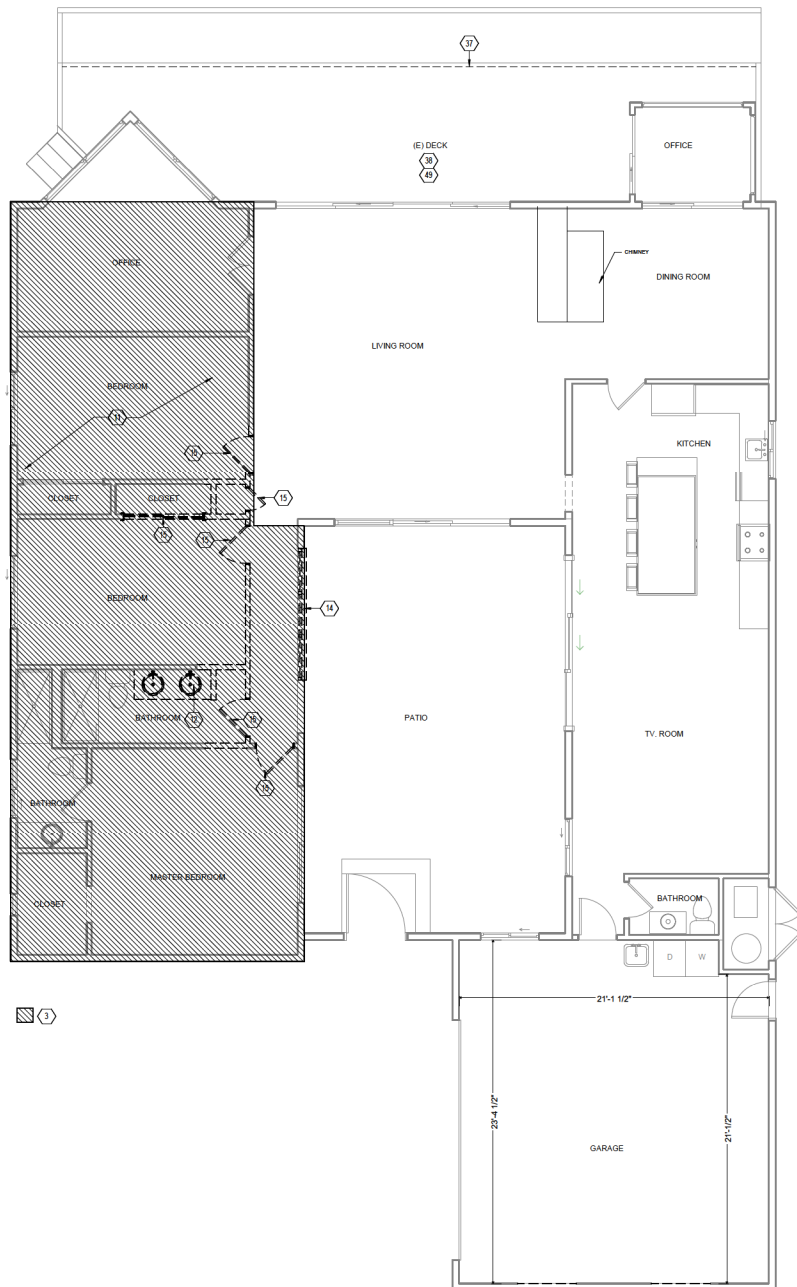
SCALE: AS NOTED

DRAWN BY: AJ

CKD BY:

PROJECT#: 202107183

A-005



1 EXISTING/DEMO FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



GENERAL DEMO NOTES

1. PRIOR TO DEMOLITION THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL PERFORM A THOROUGH INSPECTION OF THE EXISTING HOUSE AND VERIFY ALL EXISTING CONDITIONS AND LOCATIONS OF ALL UTILITIES TO BE CAPPED, REMOVED, OR RELOCATED INCLUDING PLUMBING, ELECTRICAL, TELEPHONE AND GAS. COORDINATE UTILITY SHUT-OFFS WITH THE OWNERS 48 HOURS PRIOR TO THE SHUT-DOWN.
2. REMOVE ALL WALLS AND FIXTURES AS SHOWN.
3. ANY REMOVED ITEM MAY BE CLAIMED BY OWNER.
4. PROVIDE ADEQUATE PROTECTION FOR WEATHER, SECURITY, WORKMEN, PREMISES AND ADJACENT PROPERTIES.
5. CONTRACTOR SHALL MAINTAIN A DEBRIS BOX DURING THE COURSE OF CONSTRUCTION AND KEEP PREMISES BROOM CLEAN AT THE END OF EACH DAY. ALL DEBRIS SHALL BE DISPOSED OF OFF SITE AND IN A LEGAL MANNER.
6. ALL SURFACES SHALL BE PATCHED TO MATCH EXISTING UNLESS OTHERWISE NOTED. COORDINATE STORAGE, DEBRIS REMOVAL, WORK HOURS AND UTILITY SHUT-DOWNS WITH THE OWNER PRIOR TO AND DURING CONSTRUCTION.
7. CONTRACTOR SHALL PROVIDE NOISE AND DUST ABATEMENT AS REQUIRED TO PREVENT DISTURBANCE AND NUISANCE TO SURROUNDING AREAS AND NEIGHBORS.
8. CONTRACTORS SHALL ERECT AND MAINTAIN TEMPORARY BRACING, SHORING, LIGHTS, BARRICADES, SIGNS AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKMEN, EXISTING LANDSCAPING AND FINISHES TO REMAIN. ANY DAMAGE CAUSED BY THE CONTRACTOR OR SUBCONTRACTOR SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
9. DEMOLITION MAY NOT START UNTIL THE CONTRACTOR HAS OBTAINED A PERMIT FROM THE BAY AREA QUALITY MANAGEMENT DISTRICT. THE PERMIT NUMBER(S) MUST BE PROVIDED TO THE INSPECTOR AND NOTED ON THE JOBSITE INSPECTION CARD. IF THE BAYQMD HAS DETERMINED THE PROJECT IS EXEMPT, A LETTER FROM THE AGENCY MUST BE PROVIDED.

FLOOR PLAN LEGEND

	PARTITION TYPE INDICATOR
	WINDOW OR LOUVER IDENTIFIER
	KEYNOTE INDICATOR
	FURNITURE, FIXTURE & EQUIPMENT INDICATOR
	STORAGE INDICATOR
	DOOR OPENING IDENTIFIER
	PLAN NORTH & TRUE NORTH INDICATOR
	OUTLET
	GFCL ABOVE COUNTER (A/C)
	QUAD OUTLET
	SWITCH
	(N) DOOR
	DOOR TO BE DEMOLISHED
	(E) DOOR

WALL ASSEMBLY LEGEND

	NEW EXTERIOR WALL OF 2X @ 16" O.C. WOOD STUDS W/ 1 LAYER OF 5/8 GYP BD. ON THE INSIDE AND STUCCO ON THE OUTSIDE, FINISH TO MATCH (E) ADJACENT WALLS
	NEW INTERIOR WALL OF 2X @ 16" O.C. WOOD STUDS W/ 1 LAYER OF 5/8 GYP BD. ON BOTH SIDES
	DEMO (E) EXTERIOR OR INTERIOR WALL
	(E) EXTERIOR OR INTERIOR WALL

NOTE:
ALL WALLS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE ON PLANS OR ELEVATIONS. 1 HOUR RATING, TYPICAL GYP BD REQUIRED WHEN ADJACENT TO GARAGE AND BETWEEN THE ADJ AND MAIN HOUSE.

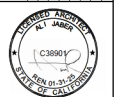
SHEET KEYNOTES

- 3 (E) ROOF TO BE DEMOLISHED
- 11 DEMO (E) VAULTED CEILING
- 12 DEMO (E) SINK
- 14 DEMO (E) WINDOW AND DISCARD
- 15 DEMO (E) DOOR
- 37 DEMO AND REPLACE (E) GUARDRAIL
- 38 DEMO AND REPLACE (E) DECKING
- 49 (E) DECK SUBSTRUCTURE TO REMAIN, REFER TO STRUCTURAL DRAWINGS FRAMING PLANS, CONTRACTOR TO PROTECT IN PLACE

SHEET KEYNOTES

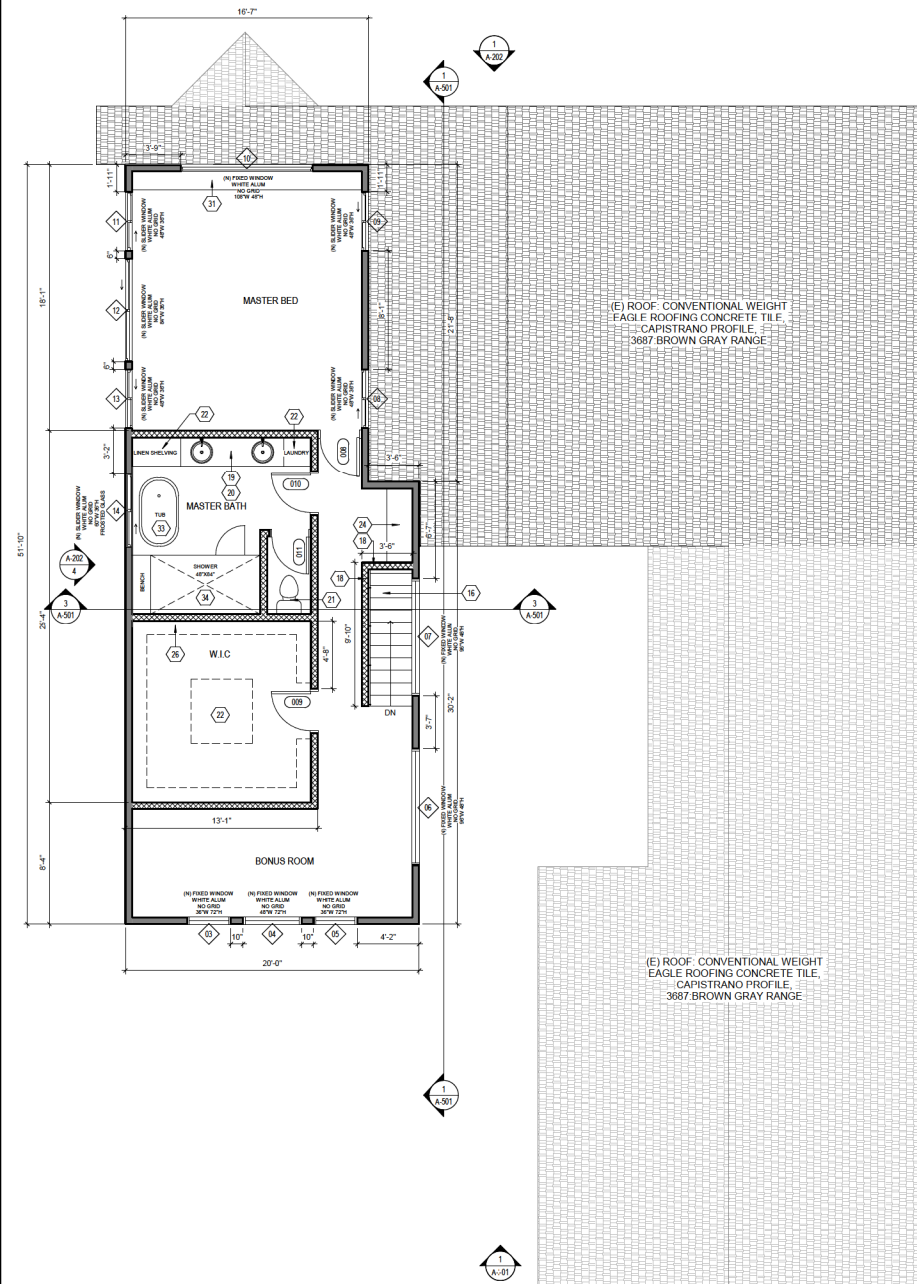
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717 MATSONIA DR
PERMIT SET



SIGN
DATE: 03/09/2023
DATE: 03/09/2023
SCALE: AS NOTED
DRAWN BY: AJ
CKD BY:
PROJECT#: 202201999

A-101



GENERAL PLAN NOTES

SANITATION

- Toilet Facilities: Provide low consumption water closets for all new construction. New water closet shall have a max. flush capacity of 1.28 gal. and shall be located in a clear space not less than 30" in width and have a clear space in front of the water closet stool of not less than 24".

Shower Areas

- Shower Areas: Showers shall have floors and walls finished with smooth, hard, non-absorbent surfaces such as portland cement, concrete ceramic tile or other approved material to a height of not less than 72" above the drain inlet. Materials other than structural elements used in such walls shall be of a type which is not adversely affected by moisture.

Glazing

- Glazing in hazardous locations shall be tempered in following locations:
 - Ignition and egress doors.
 - Partitions in sleeping or sleeping quarters.
 - Doors and enclosures for hot tub, showers (Also glazing in wall enclosing these compartments within 5' of standing surface).
 - Glazing for Shower and Bathroom Enclosures. Glazing used in doors and panels of shower and bathtub enclosures shall be fully tempered, laminated safety glass or approved plastic. When glass is used it shall have a min. thickness of not less than 1/8" when fully tempered, or 1/4" when laminated.
 - If within 2' of vertical edge of closed door and within 5' of standing surface.
 - In wall enclosing stairway landing.

SMOKE DETECTORS

- A smoke detector is required for new construction of sleeping room and corridor or area giving access to a sleeping room.
- The required smoke detector shall be mounted on the ceiling or wall of the sleeping room, and at a point centrally located on the wall or ceiling of the corridor or area giving access to sleeping room. All required detectors shall be located in accordance with the manufacturer's instructions, with no part of the detector located more than 12" below the finished surface of the ceiling of the room or corridor in which the detector is required to be installed.
- Required smoke detectors for new construction shall receive their primary power from the building wire with battery backup.

MISCELLANEOUS

- Special Hazards
 - Provide an approved spark arrester for the chimney of a fireplace, stove, or barbecue.
 - Provide an alarm for doors to the dwelling that form a part of the pool enclosure. The alarm shall sound continuously for a min. of 30 seconds when the door is opened. It shall automatically reset and be equipped with a manual means to deactivate for 15 sec. max. for a single opening. The deactivation switch shall be at least 54" above the floor.
 - An approved seismic gas shutoff valve will be installed on the fuel gas line on the down stream side of the utility meter and be rigidly connected to the exterior of the building or structure containing the fuel gas piping.

EMERGENCY ESCAPES

- Every sleeping room shall have at least one operable window or exterior door approved for emergency escape. These emergency escape windows or doors must provide a full clear opening and shall be operable from the inside without the use of special tools. All emergency escape windows shall have a min. net opening of 5.7 sq. ft. with a min. height of 24" and width of 20". The sill height of emergency escape window shall not be more than 44" above the finished floor.
- Provide emergency exit door or window from basement and/or sleeping rooms and habitable attics. Net clear window opening shall not be less than 5.7 sq. ft. Min. net window opening height dimension, 24" clear min. net opening with dimension, 20" clear. Finished sill height max. 44" above floor. The emergency escape and rescue opening shall control devices complying with ASTM F2000 shall be permitted. CRC R310.1

ADDITIONAL REQUIREMENTS:

- When there is a usable space above and below the concealed space of a floor-ceiling assembly in a single-family dwelling, draftstops shall be installed so that the area of the concealed space does not exceed 1,000 sq. ft. Draftstopper shall divide the concealed space into approximately equal areas.

MISCELLANEOUS

- In all dwellings, every interior door in a doorway through which occupants pass shall have a min. width of 32".
- No water heater which depends on combustion of a fuel for heat shall be installed in any room used or designed to be used for sleeping purposes, a bathroom, a clothes closet, or in any confined space opening into a bathroom or sleeping room.
- All water heaters shall be anchored or strapped to prevent horizontal and vertical displacement due to earthquake.
- Provide a complete occupancy separation between Residential Living space (Group R-3) and Private Garage (Group U). Provide one-hour fire resistive occupancy separation. Doors opening in such separation walls shall be self-closing protected by a fire assembly having a 20-min. fire-protection rating with tight fitting smoke seals.
- An attic access opening shall be provided for attics with a vertical height of greater than 30". The opening shall be located in a corridor, hallway or other readily accessible location. The opening shall not be less than 22" by 30". 30-min. clear headroom in the attic space shall be provided at or above the access opening.
- Run height, single glass doors and adjoining run height, three panels when the assembly joins an enclosure or approved impact resistant glazing.

INSPECTION REQUIREMENTS

- The permit holder or his agent shall notify the Department of Building and Safety when the building is ready for each of the following inspections:
 - Foundations: When the excavation for footings is completed and all forms and required reinforcing steel are in place but before any concrete is poured. Soil compaction report shall be provided to the building inspector at the job site prior to placement of concrete for the foundation.
 - Wood Framing: When all wood roof, wall and floor framing, the blocking and bracing is completed and all pipes, rough electrical and plumbing, chimneys, bathing and vents are in place, but before any interior wall covering is in place.
 - Thermal Insulation For Dwellings or Residential Structures: When all thermal insulation is installed in required wall and attic spaces, but before any of this work is concealed.
 - Plastering: When the backing and lath is in place ready for plaster or stucco.
 - Final: When the building is completed and ready for occupancy.

H.V.A.C. NOTES

- Heating, ventilation and air conditioning is to be design built.
- The HVAC contractor to provide all necessary materials, equipment and labor to rework all existing equipment if necessary and to determine all new equipment to meet the requirements.
- Contractor to submit equipment cut sheets and samples of drawings, thermostats and any required access panels, to NTR consultants, Inc. for review prior to proceeding with fabrication and/or installation or relocation.
- The HVAC contractor shall be responsible for field supervision of all their work during installation and shall inspect all systems for proper operation at completion of the job.
- Installation shall be coordinated with all trades as required for proper assembly. Ceiling diffusers to be relocated to maintain new fixture patterns.
- Interior spaces shall be mechanically ventilated in accordance with the administrative code.
- Balancing of entire system shall be done by a qualified engineer.
- All duct work shall be insulated as required for thermal and acoustic considerations.
- Mechanical ventilation in toilet room shall provide one (1) complete air change every 15 minutes and shall be vented to outside air.

DOOR/WINDOW REQUIREMENTS

- ALL ENTRY DOORS SHALL BE PROVIDED WITH A DOOR VIEWER, VIEW PORTS, OR VIEWING WINDOWS. SUCH VIEW PORTS OR WINDOWS SHALL BE CONSTRUCTED OF FULLY TEMPERED GLASS.
- SINGLE SWING DOOR, THE ACTIVE LEAF OF A PAIR OF DOORS, AND THE BOTTOM LEAF OF DUTCH DOORS SHALL BE EQUIPPED WITH A DEADBOLT AND DEADLOCKING LATCH. THE DEADBOLT AND LATCH MAY BE ACTIVATED BY ONE LOCK OR INDIVIDUAL LOCKS. THE LOCK OR LOCKS SHALL BE KEY-OPERATED FROM THE EXTERIOR SIDE OF THE DOOR AND OPERABLE FROM THE INTERIOR SIDE BY A DEVICE WHICH DOES NOT REQUIRE A KEY, SPECIAL KNOWLEDGE, OR SPECIAL EFFORT TO OPERATE.
- SWING WOOD DOORS SHALL BE OF CONSTRUCTION OF ONE OF THE FOLLOWING:
 - SOLID-CORE DOORS NOT LESS THAN 1-3/8" THICK.
 - HOLLOW-CORE DOORS OR DOORS LESS THAN 1-3/8" THICK EITHER OF WHICH ARE COVERED ON THE INSIDE FACE WITH 1/4" GAUGE SHEET METAL ATTACHED WITH SCREWS AT 12" MAX. CENTERS AROUND THE PERIMETER, OR
 - WOOD PANEL TYPE DOORS WITH PANEL FABRICATED OF LUMBER NOT LESS THAN 1/4" THICK, PROVIDED SHAPED PORTIONS OF THE PANELS ARE NOT LESS THAN 1/4" THICK. INDIVIDUAL PANELS SHALL NOT EXCEED 300 SQ. IN. IN AREA. STILES AND RAILS SHALL BE OF SOLID LUMBER WITH OVERALL DIMENSIONS OF NOT LESS THAN 1-3/8" THICK AND 3" IN WIDTH. MILLIONS SHALL BE CONSIDERED A PART OF ADJACENT PANELS UNLESS SIZED AS REQUIRED HEREIN FOR STILES AND RAILS. EXCEPT MILLIONS OVER 18" LONG MAY HAVE AN OVERALL WIDTH OF NOT LESS THAN 2". CARVED AREAS SHALL HAVE A THICKNESS OF NOT LESS THAN 3/8" INCH. DIMENSIONAL TOLERANCES PUBLISHED IN RECOGNIZED INDUSTRY STANDARDS MAY BE UTILIZED.

- Door steps in e-swings doors shall be of one-piece construction with the jam, or joined by rabbet to the jamb.
- WINDOW SIZE IS FOR SCHEMATIC PURPOSES. CONTRACTOR/OWNER SHALL COORDINATE APPLICABLE SIZES.
- AVAILABLE BY MANUFACTURER OF CHOICE WITH OWNER PRIOR TO PURCHASE, WHILE MAINTAINING ALL REQUIRED CLEARANCES AND CODES.
- ALL GLAZING MEETING ALL OF THE FOLLOWING CONDITIONS SHALL BE TEMPERED:
 - EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 8 SQUARE FEET.
 - EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR.
 - EXPOSED TOP EDGE IS GREATER THAN 18" ABOVE THE FLOOR.
- ALL GLAZING MEETING ANY OF THE FOLLOWING CONDITIONS SHALL BE TEMPERED:
 - GLAZING IN INGRESS AND EGRESS DOORS EXCEPT GLAZING IN BATHS, SHOWERS, ETC.
 - GLAZING IN DOORS AND ENCLOSURES FOR BATHTUBS, WHIRLPOOLS, SHOWERS, ETC.

- VERIFY HARDWARE REQUIREMENTS AND FINISHES WITH OWNER AND WINDOW MANUFACTURER PRIOR TO PURCHASE AND INSTALLATION.
- (*) NEXT TO WINDOW SYMBOL ON PLANS AND ELEVATIONS DENOTES WINDOW TO MEET EGRESS REQUIREMENTS PER CBC SECTION 704. WINDOW DIMENSIONS LISTED IN ELEVATIONS SHALL HAVE A MINIMUM NET CLEAR AREA OF 5.7 SQUARE FEET. SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE FINISH FLOOR. WHEN WINDOW IS IN OPEN POSITION, THE NET CLEAR WIDTH SHALL NOT BE LESS THAN 20" AND THE NET CLEAR HEIGHT SHALL NOT BE LESS THAN 24". WINDOW SHALL BE OF A TYPE AND STYLE TO MATCH EXISTING AS FEASIBLE.

PLAN NOTES:

- ALL DIMENSIONS ARE GIVEN TO FACE OF FINISH U.O.N.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- COORDINATE LIGHTING & SWITCHES WITH CONTRACTOR/OWNER PRIOR TO INSTALLATION.
- ALL DOORS TO MAINTAIN 4-2" CLEAR TO RISER TO THE LOWER SIDE IF N/A.

FLOOR PLAN LEGEND

	PARTITION TYPE INDICATOR
	WINDOW OR LOUVER IDENTIFIER
	KEYNOTE INDICATOR
	FURNITURE, FIXTURE & EQUIPMENT INDICATOR
	STORAGE INDICATOR
	DOOR OPENING IDENTIFIER
	PLAN NORTH & TRUE NORTH INDICATOR
	OUTLET
	GFCL ABOVE COUNTER (A.C.)
	QUAD OUTLET
	SWITCH
	(N) DOOR
	DOOR TO BE DEMOLISHED
	(E) DOOR

WALL ASSEMBLY LEGEND

	NEW EXTERIOR WALL OF 2X @ 16" O.C. WOOD STUDS W/ 1" LAYER OF 5/8 GYP BD. ON THE INSIDE AND STUCCO ON THE OUTSIDE. FINISH TO MATCH (E) ADJACENT WALLS
	NEW INTERIOR WALL OF 2X @ 16" O.C. WOOD STUDS W/ 1" LAYER OF 5/8 GYP BD. ON BOTH SIDES
	DEMO (E) EXTERIOR OR INTERIOR WALL
	(E) EXTERIOR OR INTERIOR WALL

NOTE:

ALL WALLS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE ON PLANS OR ELEVATIONS. 1 HOUR RATING, TYPICAL GYP BD REQUIRED WHEN ADJACENT TO GARAGE AND BETWEEN THE ADJ AND MAIN HOUSE.

SHEET KEYNOTES

16	(N) WOOD STAIR TREAD AND RISER, FINISH TBS BY OWNER. 7/34" MAX RISE, 10" MIN TREAD. FLOATING STEPS
18	(N) 42" TALL HALF WALL
19	(N) VANITY CABINETS TBS BY OWNER
20	(N) VANITY SINK TBS BY OWNER
21	(N) TOILET & VENT ABOVE
22	(N) CABINET, TBS BY OWNER
24	(N) COUNTERTOP TBS BY OWNER
26	(N) SHELVING, COLOR, FINISH AND PLACEMENT BY OWNER
31	(N) BENCH AND STORAGE CABINETS BELOW, FINISH TBS BY OWNER
33	(N) FREE STANDING TUB, CONTRACTOR TO PROVIDE HOOKUPS AS REQ'D BY CODE. FINISH AND STYLE TBS BY OWNER
34	(N) TILED SHOWER, CONTRACTOR TO PROVIDE HOOKUPS AS REQ'D BY CODE. FINISH AND STYLE TBS BY OWNER. TEMPERED GLASS REQUIRED

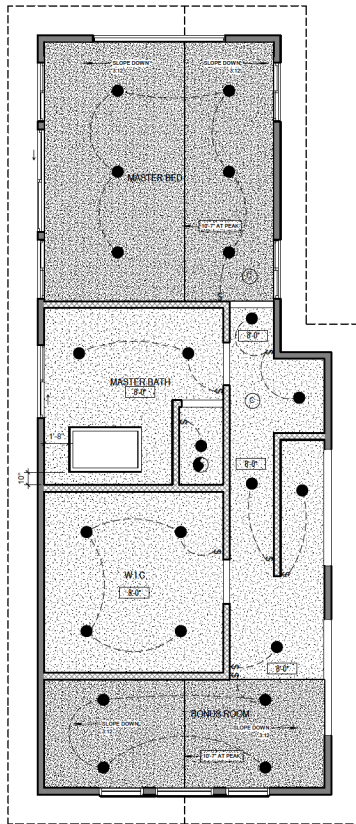
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CONSULTING ENGINEERS

717 MATSONIA DR
PERMIT SET

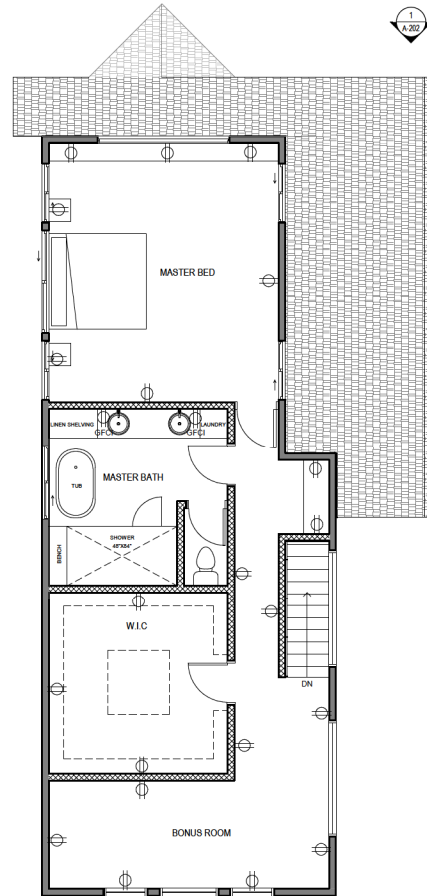


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DATE: 03/09/2023
DATE: 03/09/2023
SCALE: AS NOTED
DRAWN BY: AJ
CKD BY:
PROJECT#: 202201999

A-103



1 PROPOSED SECOND FLOOR CEILING PLAN
SCALE: 1/4" = 1'-0"



2 PROPOSED SECOND FLOOR ELECTRIC PLAN
SCALE: 1/4" = 1'-0"

- ELECTRICAL NOTES:
1. ALL NEW ELECTRICAL WORK SHALL COMPLY WITH THE 2022 CALIFORNIA ELECTRICAL CODE (2022CEC)
 2. ALL NEW LIGHTING SHALL BE INSTALLED IN ACCORDANCE WITH CALIFORNIA 2022 TITLE 24 RESIDENTIAL REQUIREMENTS
 3. ALL NEW FLUORESCENT OR HIGH EFFICIENCY LED LIGHTING SHALL BE SWITCHED SEPARATELY FROM ALL OTHER LIGHTING
 4. ALL FLUORESCENT FIXTURES GREATER THAN 13W SHALL HAVE ELECTRONIC BALLASTS OR APPROVED GU-24 LINE VOLTAGE SOCKETS
 5. ALL RECESSED LIGHTING IN SURFACES WITH THERMAL INSULATION SHALL HAVE AIR TIGHTIC HOUSINGS
 6. ALL HARDWIRED INTERIOR LIGHTING IN AREAS OTHER THAN BATHROOMS, KITCHENS, GARAGES, LAUNDRY OR UTILITY ROOMS SHALL BE FLUORESCENT OR SWITCHED WITH EITHER A DIMMABLE LIGHT SWITCH OR VACANCY SENSOR
 7. ALL LIGHTING CONTROLS, BALLASTS FOR RECESSED LUMINAIRES, AND HIGH EFFICACY LED LIGHT SOURCES SHALL BE CERTIFIED BY THE ENERGY COMMISSION FOR COMPLIANCE WITH TITLE 24 BUILDING ENERGY EFFICIENCY STANDARDS
 8. AT LEAST 50% OF LIGHTING WATTAGE IN KITCHEN SHALL BE FROM FLUORESCENT OR OTHER HIGH EFFICACY LIGHT FIXTURES
 9. ALL ELECTRICAL DEVICES (SWITCHES, OUTLETS) SHALL BE THE SAME COLOR (WHITE) AS THE COVERPLATE, U.O.N.
 10. INSTALL AS MANY ADJACENT SWITCHES AND OUTLETS IN ONE PLATE AS POSSIBLE
 11. ALL SWITCHES TO BE MOUNTED 48" A.F.F. U.O.N.
 12. GENERAL CONTRACTOR TO COORDINATE ALL SWITCHING NOT SHOWN ON PLANS WITH OWNER
 13. ANY EXHAUST FAN WITH INTEGRAL LIGHTING SHALL HAVE ABILITY TO MANUALLY SWITCH OFF LIGHT SYSTEM WHILE FAN CONTINUES TO OPERATE
 14. BATHROOM VENTILATION FAN TO PROVIDE 5 AIR EXCHANGES PER HOUR
 15. (C) CEILING FINISHES TO REMAIN U.O.N.
 16. ALL CONDUITS AND WIRES TO BE CONCEALED
 17. PROVIDE CARBON MONOXIDE ALARM AND SMOKE ALARM AT MIDPOINT BETWEEN BEDROOM DOORS IN HALL CENTERED ALONG CORRIDOR
 18. PROVIDE SMOKE ALARM IN EACH BEDROOM
- FINISHES:
ALL OUTLETS AND SWITCHES SHALL HAVE A WHITE FINISH

FLOOR PLAN LEGEND	
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	WINDOW OR LOUVER IDENTIFIER
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	DOOR OPENING IDENTIFIER
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	OUTLET
	GFCL ABOVE COUNTER (A.C)
	QUAD OUTLET
	SWITCH
	(N) DOOR
	DOOR TO BE DEMOLISHED
	(E) DOOR

CEILING LEGEND	
	NEW GYP BD CEILING
	FAN 50 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE
	LIGHTING, TBS BY OWNER
	SWITCH (X) MULTIWAY, CONFIRM STYLE AND COLOR W/ OWNER
	SMOKE DETECTOR CARBON MONOXIDE ALARM
	SWITCHING
	20" X 30" ATTIC ACCESS
	CEILING TAG

WALL ASSEMBLY LEGEND	
	NEW EXTERIOR WALL OF 2X @ 16" O.C. WOOD STUDS W/ 1 LAYER OF 5/8 GYP BD. ON THE INSIDE AND STUCCO ON THE OUTSIDE. FINISH TO MATCH (E) ADJACENT WALLS
	NEW INTERIOR WALL OF 2X @ 16" O.C. WOOD STUDS W/ 1 LAYER OF 5/8 GYP BD. ON BOTH SIDES
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NOTE:
ALL WALLS ARE EXISTING TO REMAIN, UNLESS NOTED OTHERWISE ON PLANS OR ELEVATIONS. 1 HOUR RATING, TYPICAL GYP BD REQUIRED WHEN ADJACENT TO GARAGE AND BETWEEN THE ADJ. AND MAIN HOUSE.

DESIGN EVEREST
CONSULTING ENGINEERS

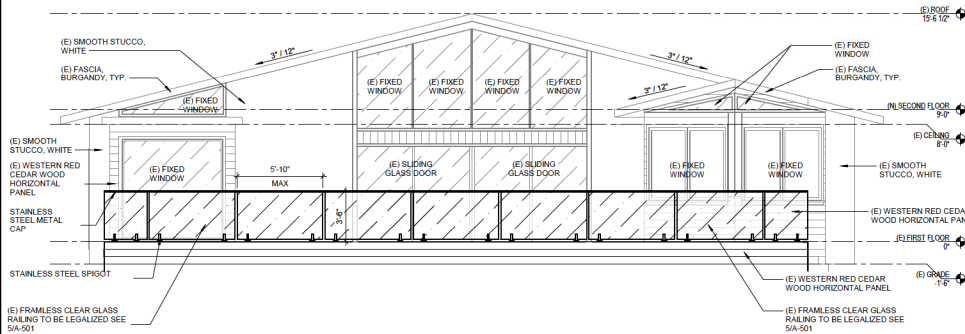
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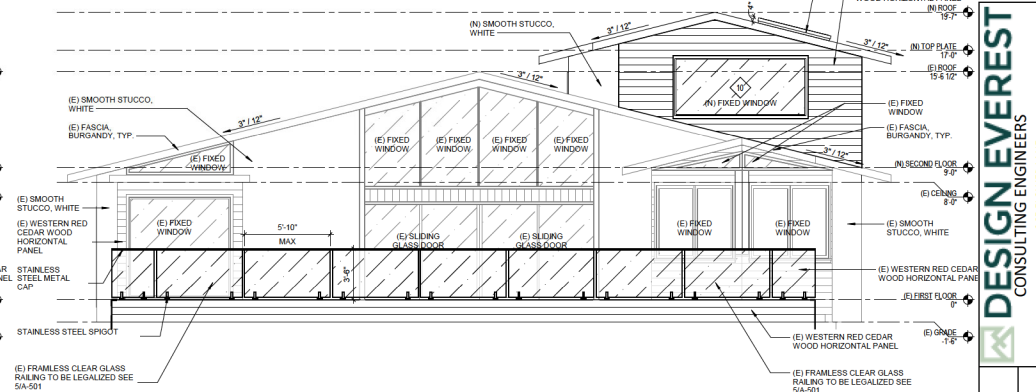
PROJECT#: 202201699

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DATE: 03/09/2023
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SCALE: AS NOTED
DRAWN BY: AJ
CKD BY:
PROJECT#: 202201699

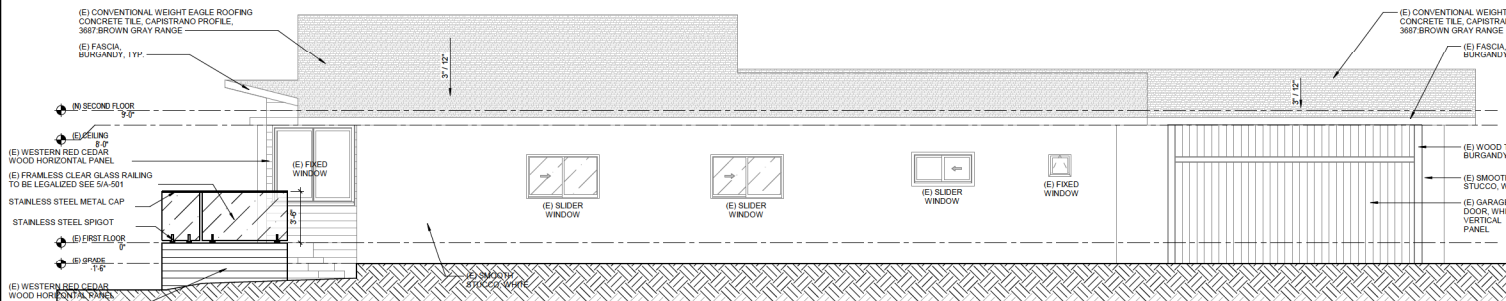
A-105



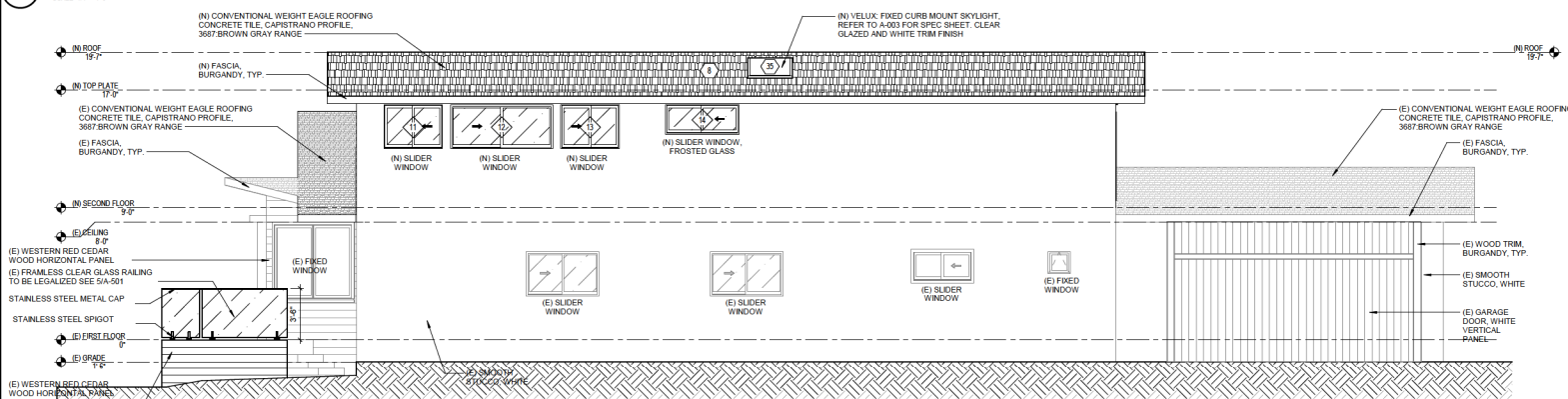
1 EXISTING NORTH ELEVATION (BACK)
SCALE 1/8" = 1'-0"



2 PROPOSED NORTH ELEVATION (BACK)
SCALE 1/8" = 1'-0"



3 EXISTING WEST ELEVATION (LEFT)
SCALE 1/8" = 1'-0"



4 PROPOSED WEST ELEVATION (LEFT)
SCALE 1/8" = 1'-0"

SHEET KEYNOTES

- 8 (N) CLASS "A" CONCRETE TILE ROOF. SEE A-104 FOR TYPICAL DETAILS. MATCH (E) ROOF FINISH AND STYLE
- 35 (N) 3X5 SKY LIGHT, MAX U-FACTOR: 0.47, MAX SHGC OF 0.35

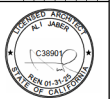
PRODUCT & FINISH LEGEND

- ROOF: CONVENTIONAL WEIGHT EAGLE ROOFING CONCRETE TILE, CAPISTRANO PROFILE, 3608 KONA RED RANGE
- WINDOW: PELLA VINYL WINDOW, CLEAR GLAZING, WHITE WINDOW FRAME FINISH
- WALLS: SMOOTH FACE STUCCO FINISH, WHITE FINISH
- WALLS: WESTERN RED CEDAR WOOD HORIZONTAL PANEL, CEDAR VALLEY SIDING SYSTEM PANELS OR EQUAL
- ALL VENTS, GUTTERS AND OTHER ROOF EQUIPMENT TO BE PAINTED TO MATCH THE ADJACENT SURFACE
 - SKYLIGHT WILL BE A LOW PROFILE FLAT DESIGN THAT DOES NOT EXTEND MORE THAN 10" ABOVE THE HEIGHT OF THE ROOF. FRAME TO BE PAINTED TO MATCH ADJACENT SURFACE

DESIGN EVEREST
CONSULTING ENGINEERS

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PHONE: (650) 331-0015 FAX: (650) 331-1801

717 MATSONIA DR
PERMIT SET



SIGN
DATE: 03/09/2023
DATE: 03/09/2023
SCALE: AS NOTED
DRAWN BY: AJ
CKD BY:
PROJECT#: 202107163

A-202

SOUTH VIEW (FRONT)



EAST VIEW (RIGHT)




NORTH VIEW (REAR)




WEST VIEW (LEFT)





DESIGN EVEREST
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365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (858) 333-1015 FAX: (858) 333-1801

717 MATSONIA DR
PERMIT SET



SIGN
DATE: 03/09/2023
DATE: 03/09/2023
SCALE: AS NOTED
DRAWN BY: AJ
CKD BY:
PROJECT#: 202107183

A-203

CONTRACTOR TO CONFIRM ALL DOOR STYLES, FINISHES, AND HARDWARE W/ OWNER. ALL EXTERIOR DOORS SHALL BE SOLID CORE WOOD MINIMUM 1-3/8" THICK. SEE GENERAL NOTES FOR MORE REQUIREMENTS. ALL INTERIOR DOORS SHALL HAVE A WHITE FINISH PANEL AND TRIM

