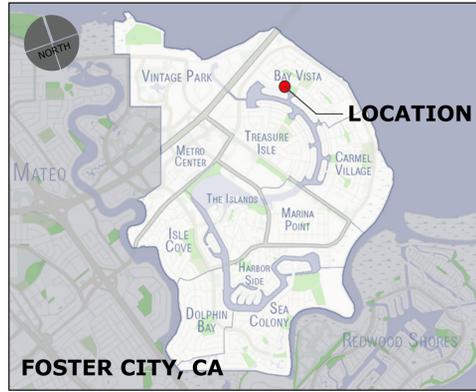


**PROJECT LOCATION**



**PROJECT LOCATION**



**PROPERTY INFORMATION:**

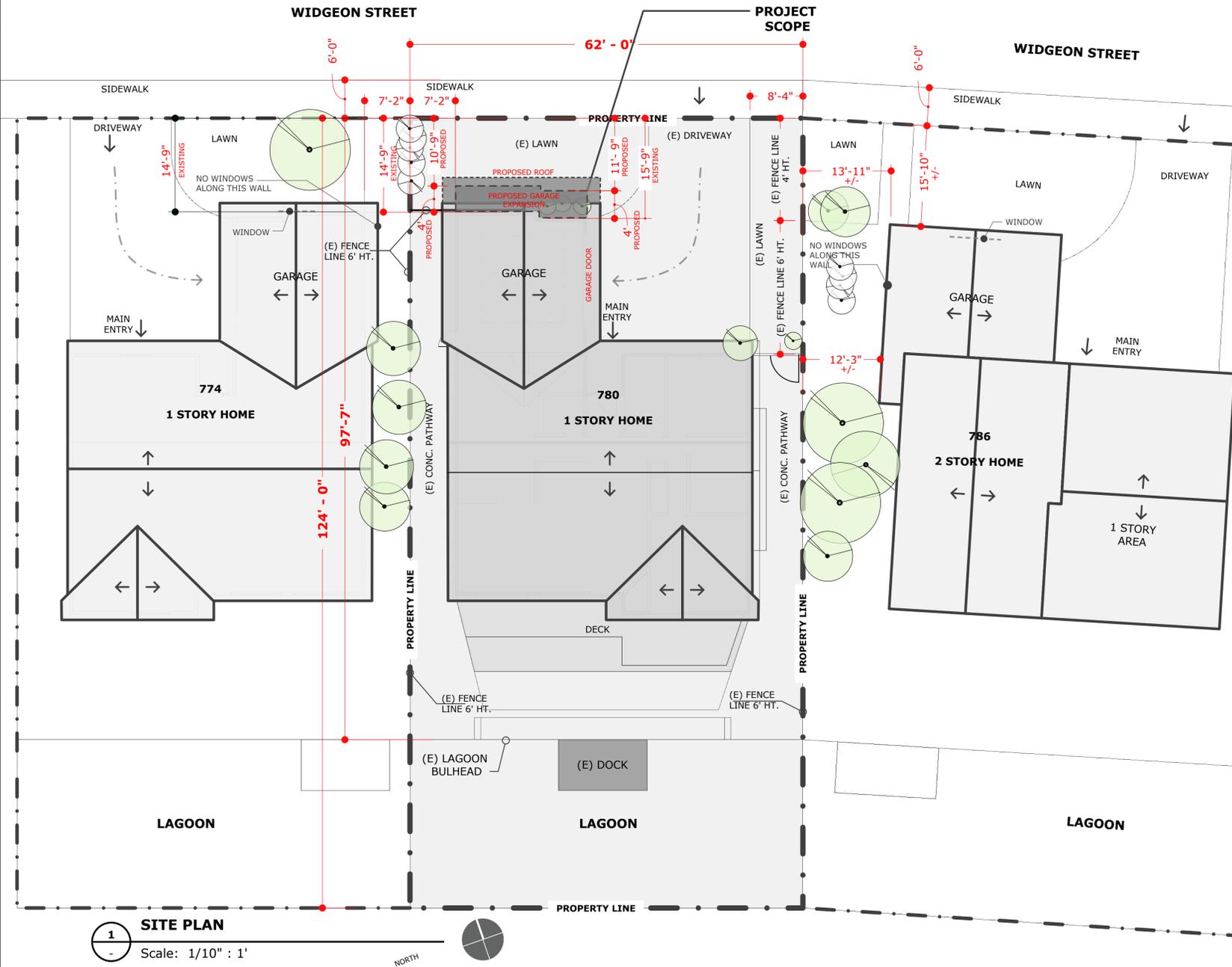
Zoning Class: **R-1**  
 Zoning Description: Single-Family Residence District  
 Site Address: **780 WIDGEON ST, FOSTER CITY, CA**  
 Parcel ID: 094172490

**PROJECT DESCRIPTION**

The project will consist in the extension of the garage front façade at the property located at 780 Widgeon St. by 4' - 0" projecting into the front yard. The Property is Single-Family Residence (R-1) one story level with attached garage. The expansion project will maintain the same architectural features, materials, colors and style to match the exiting conditions.

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**PROPERTY SITE**



**1 SITE PLAN**  
 Scale: 1/10" : 1'

**PROJECT SUMMARY**

**PROJECT SUMMARY TABLE:**

NET LOT AREA: Dry Land (Only include land area, not portion in lagoon)	aprox 6050 square feet	
FLOOR AREA 1 <sup>st</sup> FLOOR:	1795 square feet	1795 square feet
FLOOR AREA 2 <sup>nd</sup> FLOOR:	square feet	square feet
GARAGE:	450.6 square feet	533.6 square feet
TOTAL FLOOR AREA:	2245.6 square feet	2328.6 square feet
LOT COVERAGE: 6050 SF (Include all land area covered by all structures (ex. sheds, patio covers), including all projections (covered entryways) except eaves, divided by the net lot area)	2616.6 square feet (0.43%)	2713.7 square feet (0.44%)
HEIGHT: Average height of sloped roof measured from the top of the ridge to the lowest point of the sloped roof. If there are multiple ridges, calculate average of the two highest - see sample attached.	13 feet 9 inches	13 feet 9 inches

SETBACKS:	EXISTING	PROPOSED
Front 1 <sup>st</sup> story	14 feet 9 inches	10 feet 9 inches
Front 2 <sup>nd</sup> story	feet inches	feet inches
Rear 1 <sup>st</sup> story	19 feet 8 inches	19 feet 8 inches
Rear 2 <sup>nd</sup> story	feet inches	feet inches
Right side 1 <sup>st</sup> story	25 feet 9 inches	25 feet 9 inches
Right side 2 <sup>nd</sup> story	feet inches	feet inches
Left side 1 <sup>st</sup> story	7 feet 9 inches	7 feet 9 inches
Left side 2 <sup>nd</sup> story	feet inches	feet inches

SPECIFIC EXTERIOR COLORS AND MATERIALS:	EXISTING	PROPOSED
Siding	WOOD / GRAY	TO MATCH EXISTING
Trim	WOOD / WHITE	TO MATCH EXISTING
Roof	SHINGLE / GRAY	TO MATCH EXISTING

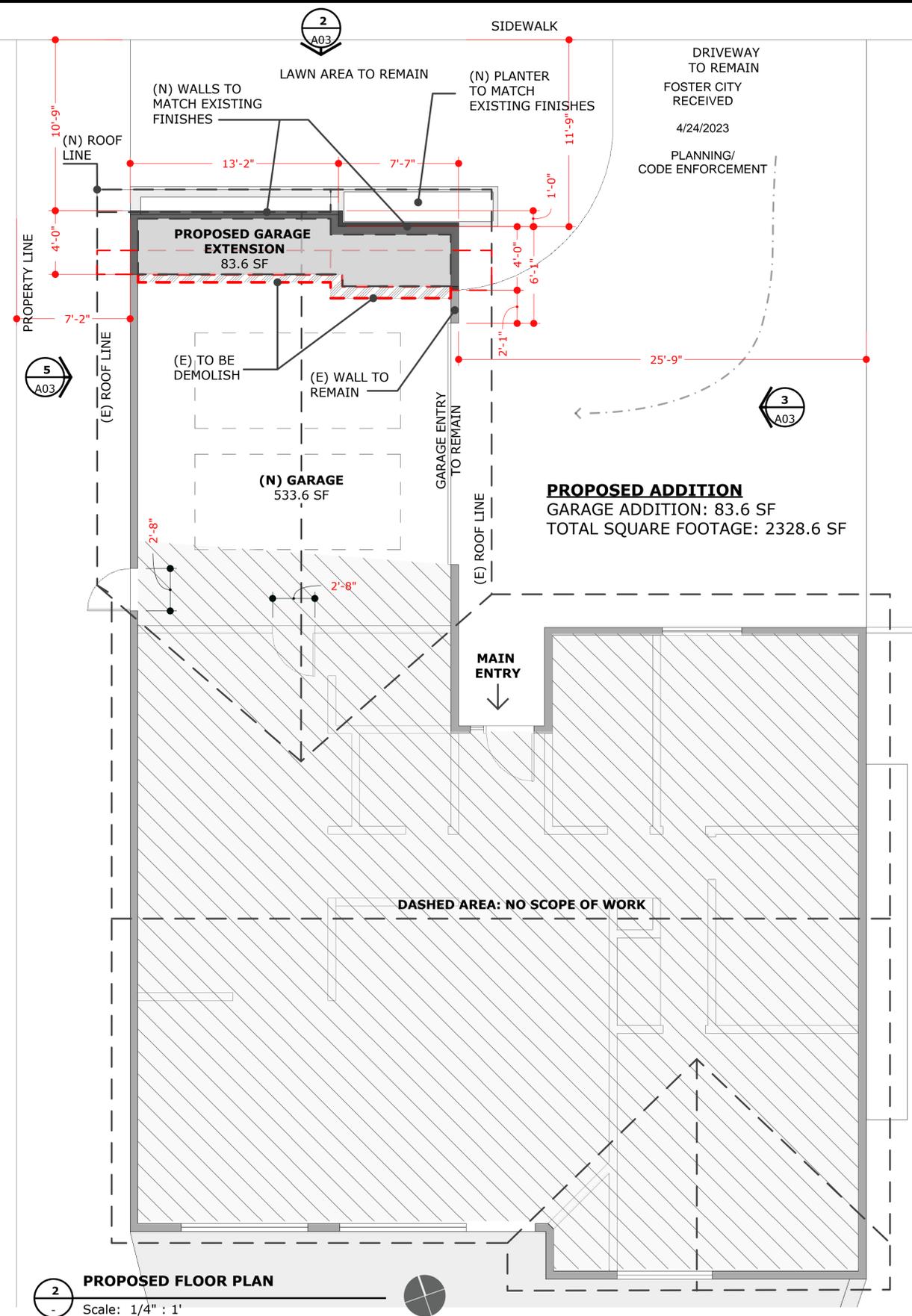
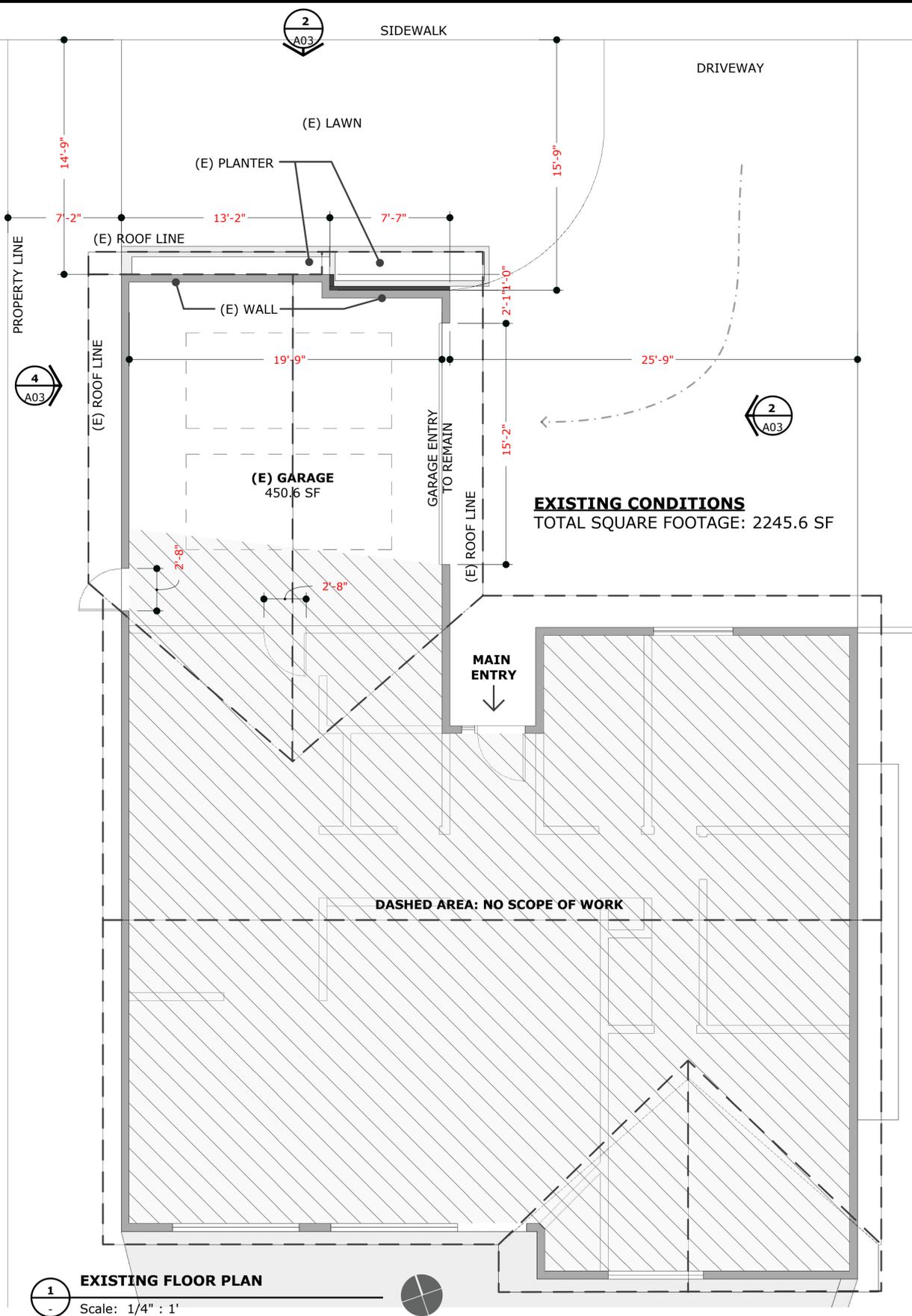
610 Foster City Blvd., Foster City CA, 94404 • 650.286.3225 • E-mail us at: [cdd@fostercity.org](mailto:cdd@fostercity.org) • Website: [www.fostercity.org](http://www.fostercity.org)  
 Hours: 8am - 12pm and 1pm - 4:30pm • Monday - Thursday, Closed Fridays.

**INDEX**

- COVER PAGE - PROJECT INFORMATION
- 1. FLOOR PLANS
- 2. ROOF PLANS
- 3. ELEVATIONS
- 4. PHOTOS
- 5. SETBACK REQUIREMENTS (10.54.070)

**REVISIONS:**

REVISION 04/20/2023



SIDEWALK

DRIVEWAY

LAWN TO REMAIN

(E) ROOF LINE

(E) ROOF LINE

(E) ROOF LINE

(E) GARAGE  
ROOF SLOPE 5/12

**EXISTING CONDITIONS  
ROOF COVERAGE**  
TOTAL SQUARE FOOTAGE: 2616.6 SF

NO SCOPE OF WORK

**1** EXISTING ROOF PLAN

Scale: 1/4" : 1'

SIDEWALK

LAWN TO REMAIN

DRIVEWAY

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**PROPOSED GARAGE  
EXTENSION**  
97.1 SF

(N) ROOF  
LINE

(E) ROOF  
LINE

(N) GARAGE  
ROOF SLOPE 5/12  
TO MATCH EXISTING

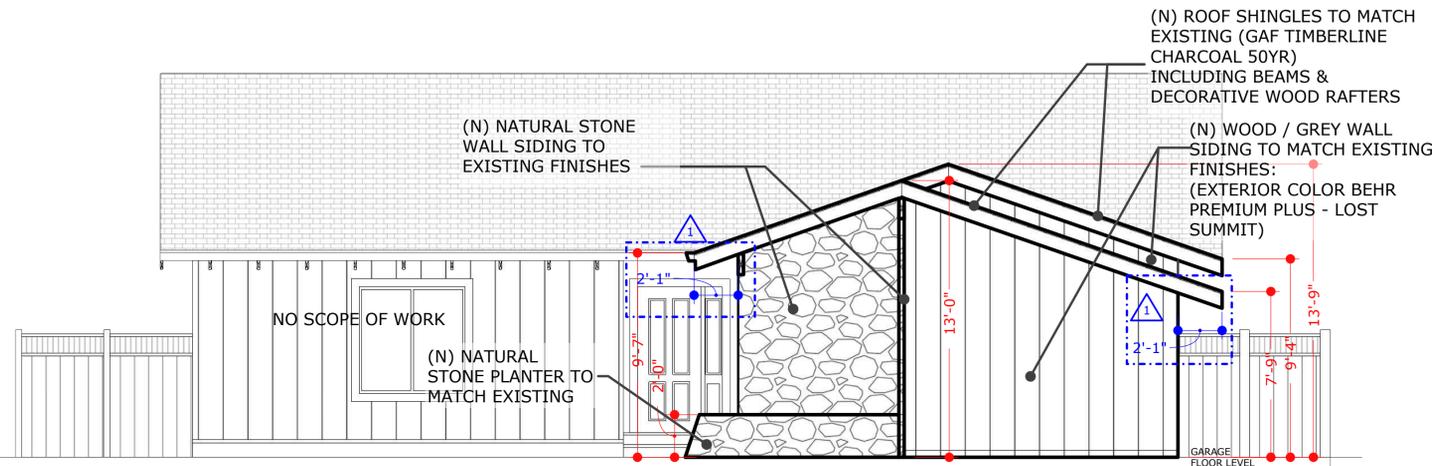
(E) GARAGE  
ROOF TO REMAIN  
SLOPE 5/12

**PROPOSED ADDITION  
ROOF COVERAGE**  
ADDITION SQUARE FOOTAGE: 97.1 SF  
TOTAL SQUARE FOOTAGE: 2713.7 SF

NO SCOPE OF WORK

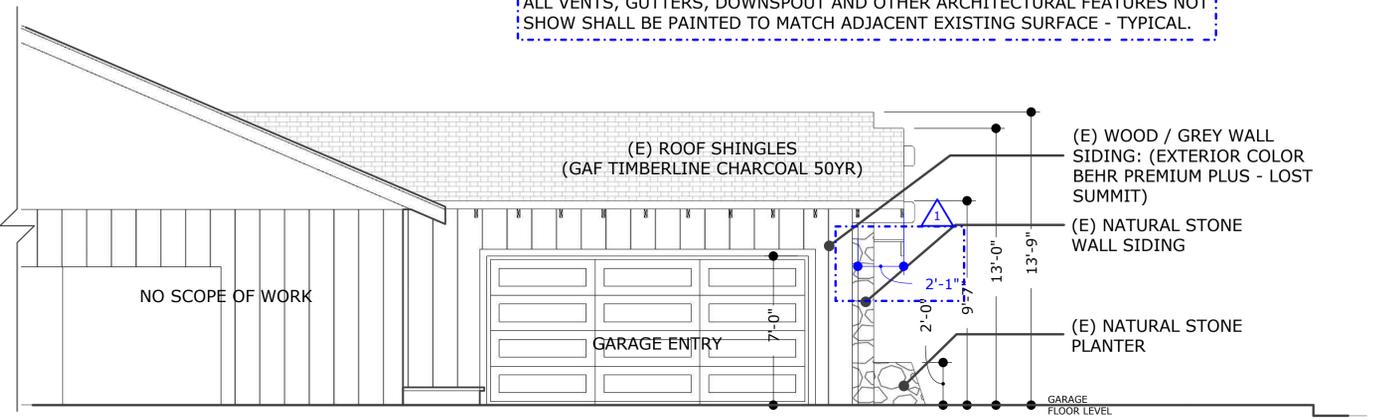
**2** PROPOSED ROOF PLAN

Scale: 1/4" : 1'

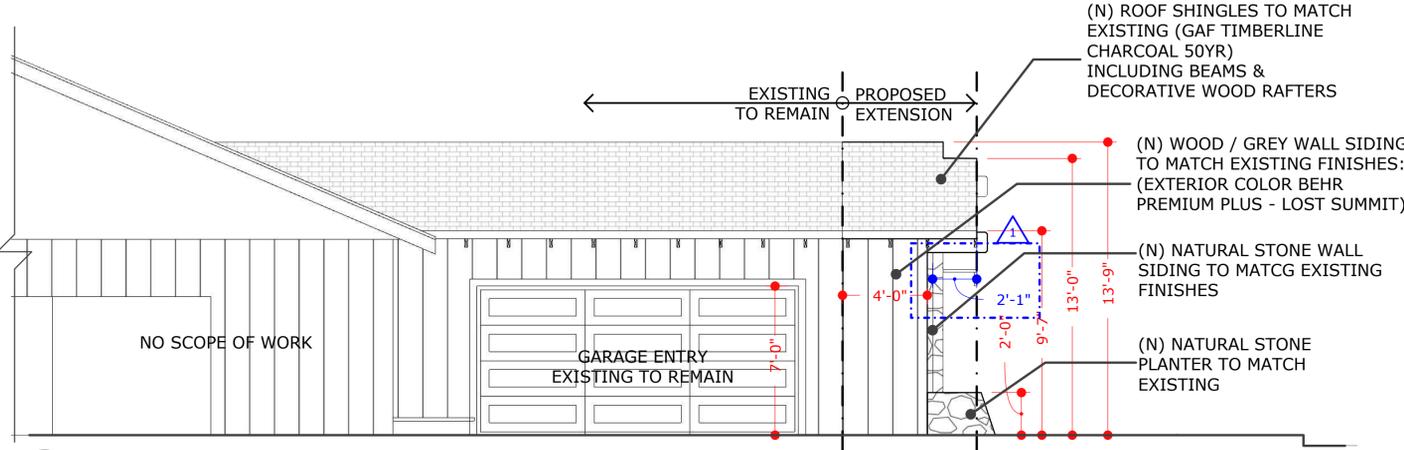


**1 NORTH ELEVATION (FRONT) - EXISTING & PROPOSED** (ADDITION TO MATCH EXISTING)  
Scale: 1/4" : 1'

**GENERAL NOTE:**  
ALL VENTS, GUTTERS, DOWNSPOUT AND OTHER ARCHITECTURAL FEATURES NOT SHOW SHALL BE PAINTED TO MATCH ADJACENT EXISTING SURFACE - TYPICAL.



**2 EAST ELEVATION (SIDE) - EXISTING**  
Scale: 1/4" : 1'



**3 EAST ELEVATION (SIDE) - PROPOSED**  
Scale: 1/4" : 1'

**GENERAL NOTE:**  
ALL VENTS, GUTTERS, DOWNSPOUT AND OTHER ARCHITECTURAL FEATURES NOT SHOW SHALL BE PAINTED TO MATCH ADJACENT EXISTING SURFACE - TYPICAL.

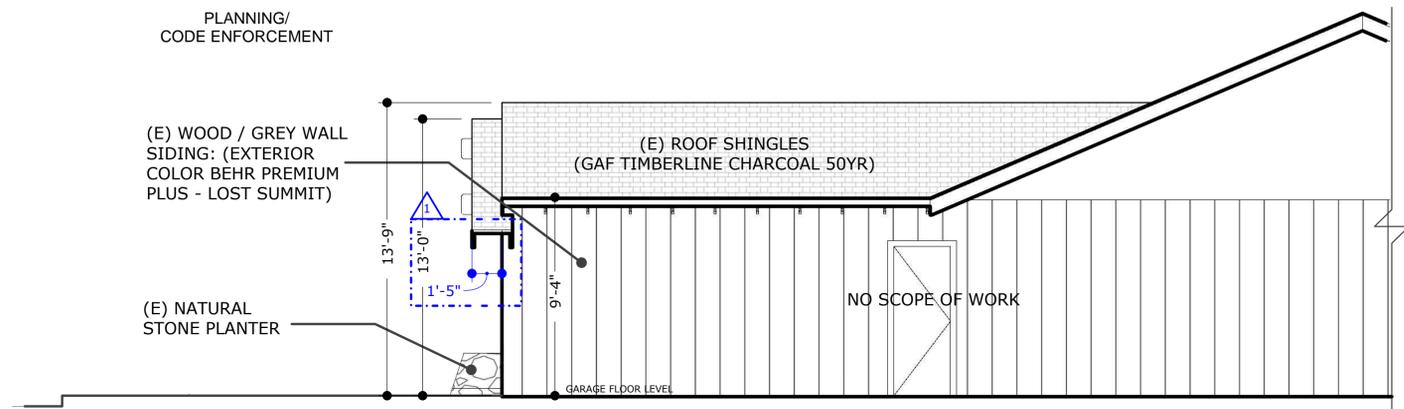


**6 NORTH ELEVATION VIEW - EXISTING**  
Scale: NTS.

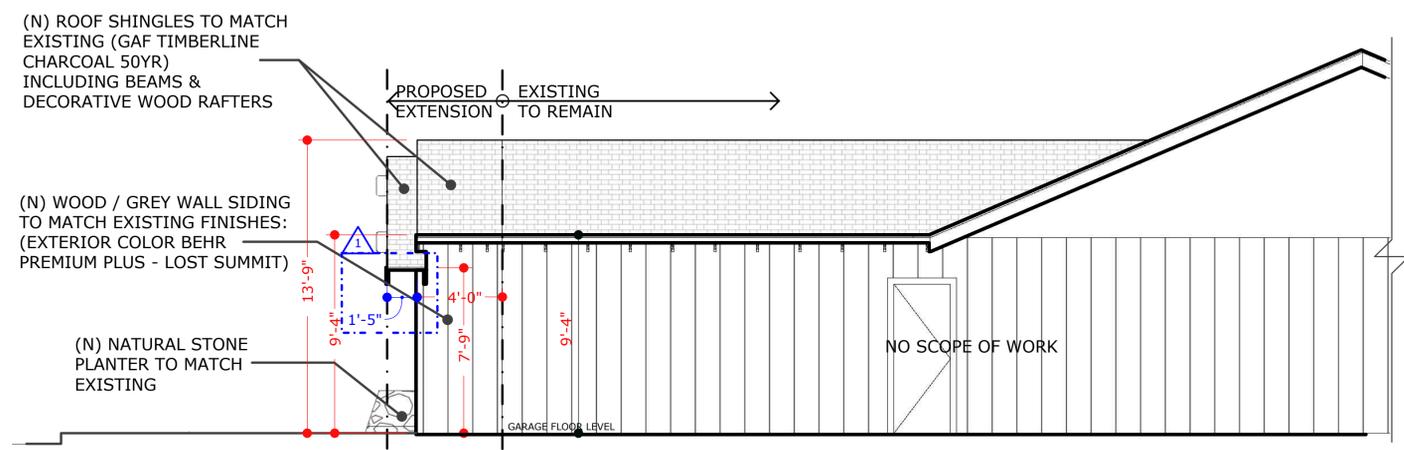


**7 NORTH ELEVATION VIEW - PROPOSED**  
Scale: NTS.

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**4 WEST ELEVATION (SIDE) - EXISTING**  
Scale: 1/4" : 1'



**5 EAST ELEVATION (EAST) - PROPOSED**  
Scale: 1/4" : 1'



**FRONT FACADE - NORTH VIEW**



**SIDE FACADE - EAST VIEW**



**SIDE FACADE - WEST VIEW**



**FRONT FACADE - DETAIL VIEW**



**SIDE FACADE - GARAGE DETAIL VIEW**



**SIDE FACADE - DETAIL VIEW**

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786



780



774

**780 WIDGEON STREET ADJACENT PROPERTIES DETAIL VIEW**

**17.54.070 Setback in previously-developed areas.** [Email Link](#)

In any "R" district, where four or more lots in a block have been improved with buildings at the time of the passage of the ordinance codified in this title (not including accessory buildings), the minimum required front setback shall be the average of the improved lots, if the setback is less than the stated requirements of the districts. (Ord. 38 § 1 (part), 1972; prior code § 10-406.092)

**17.54.080 Setback reductions and encroachments.**

A. The planning commission may, by use permit, grant a reduction of the front yard setback to not less than five feet upon an application including not less than five contiguous lots; provided, that at least one uncovered off-street parking space is provided in addition to each off-street parking space required by Chapter 17.62 for each lot having a setback of less than twenty feet.

**Total average setback to sidewalk (BY BLOCK)**

30 units = 14' 9"



**780 Widgeon St. Proposed Setback:**

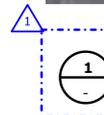
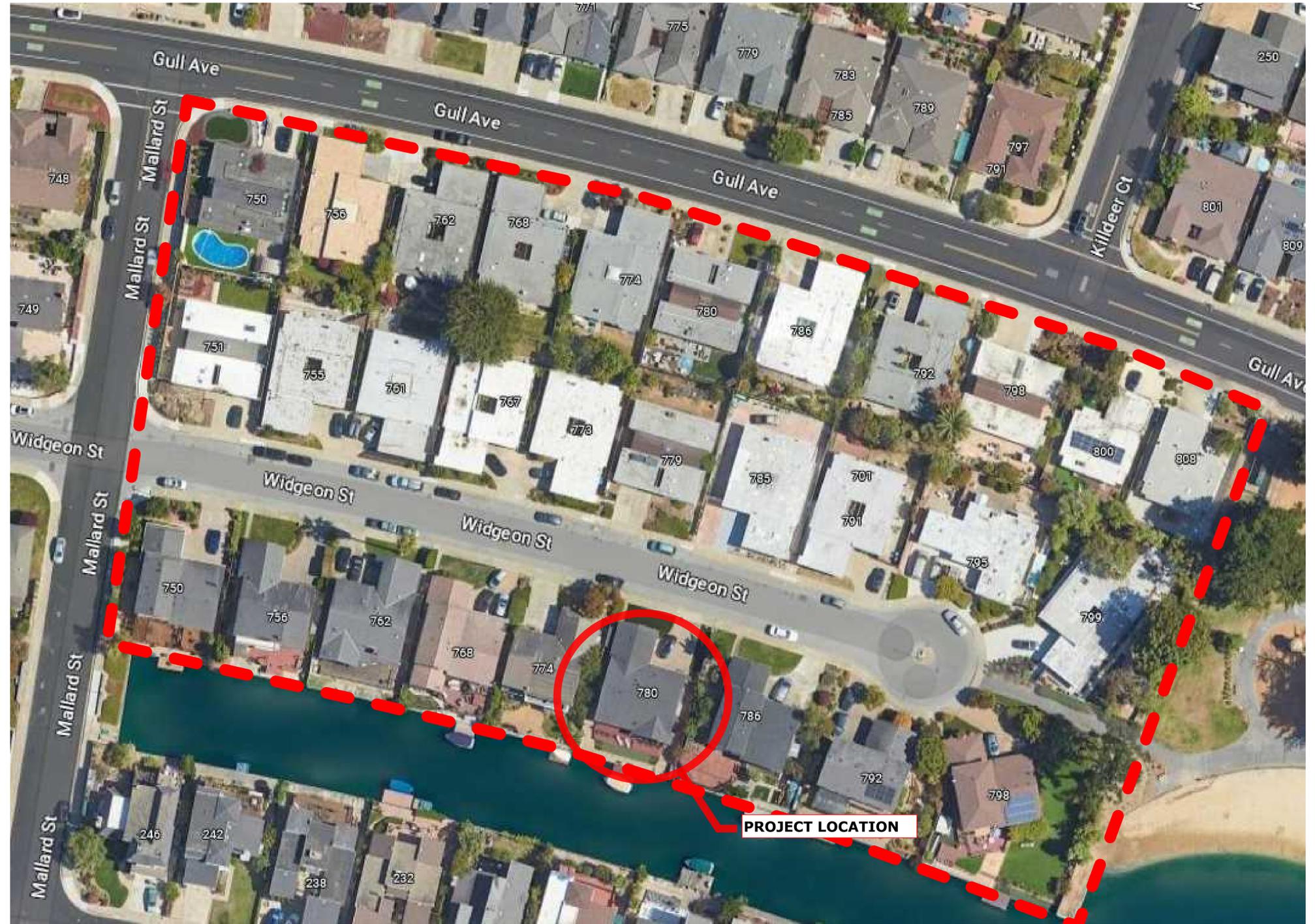
Existing 15' - 9"

Proposed 10' - 9"

Meet 10.54.080 requirement (A): at least one parking space is provided in addition to each off-street parking space is required

Overall Average Setback		
Street	Inches	Feet
Widgeon South	188.44	15.7
Widgeon North	157.65	13.1
Gull	191.91	16.0
<b>avg</b>	<b>179.33</b>	<b>14.9</b>

Block Setbacks by Lot				
No.	Street	Lot Number	Setback (Feet)	Notes
1	Widgeon South	750	21.2	corner house
2	Widgeon South	756	19.3	
3	Widgeon South	762	11.6	
4	Widgeon South	768	16.3	
5	Widgeon South	774	16.4	
6	<b>Widgeon South</b>	<b>780</b>	<b>10.9</b>	<b>New Proposed Setback</b>
7	Widgeon South	786	16.6	
8	Widgeon South	792	10.8	
9	Widgeon South	798	18.3	culdesac end
		<b>avg</b>	<b>15.7</b>	
10	Widgeon North	799	38.9	culdesac end
11	Widgeon North	795	11.8	
12	Widgeon North	791	6.1	
13	Widgeon North	785	6.3	
14	Widgeon North	779	21.5	
15	Widgeon North	773	6.8	
16	Widgeon North	767	6.3	
17	Widgeon North	761	6.3	
18	Widgeon North	755	6.3	
19	Widgeon North	751	21.2	corner house
		<b>avg</b>	<b>13.1</b>	
20	Gull Street	750	25.1	corner house
21	Gull Street	756	9.6	
22	Gull Street	762	9.7	
23	Gull Street	768	9.8	
24	Gull Street	774	9.8	
25	Gull Street	780	25.5	
26	Gull Street	786	9.9	
27	Gull Street	792	9.8	
28	Gull Street	798	24.5	
29	Gull Street	800	17.4	
30	Gull Street	808	24.8	next tp park
		<b>avg</b>	<b>16.0</b>	



**SETBACK REDUCTIONS AND ENCROACHMENTS - DETAIL**

Scale: NTS

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