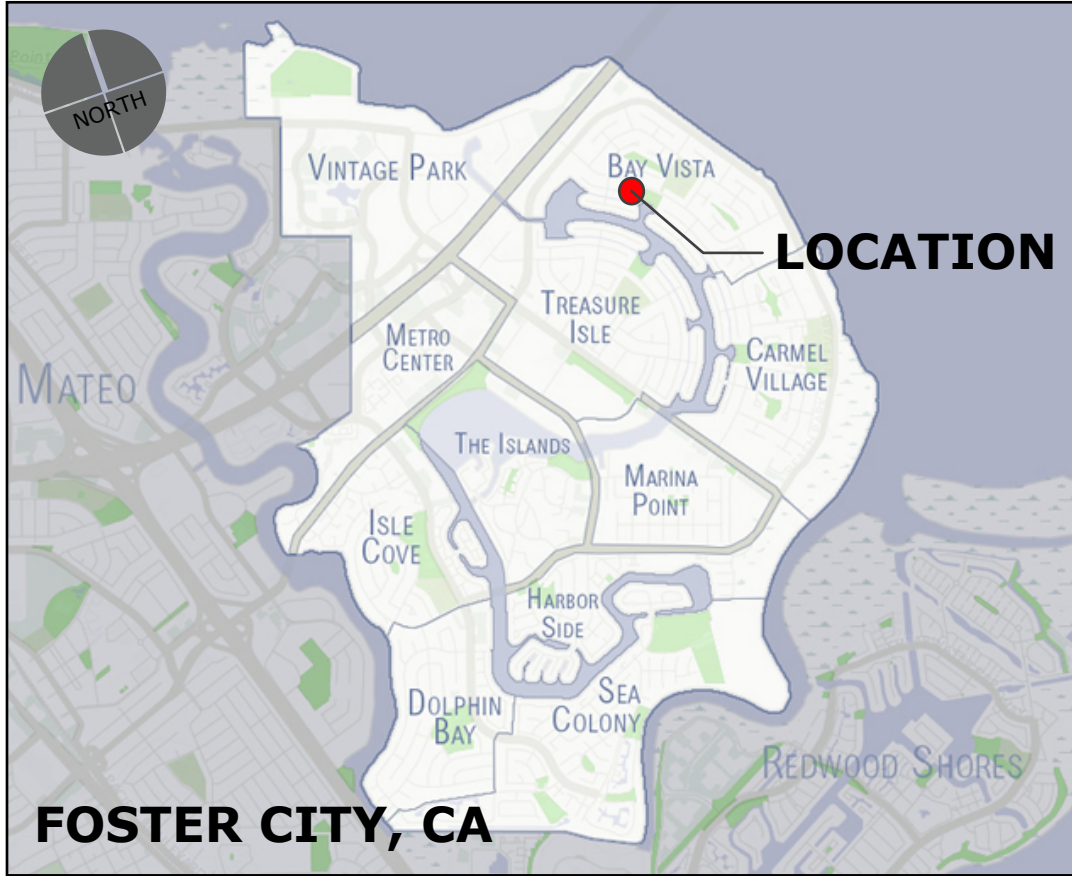
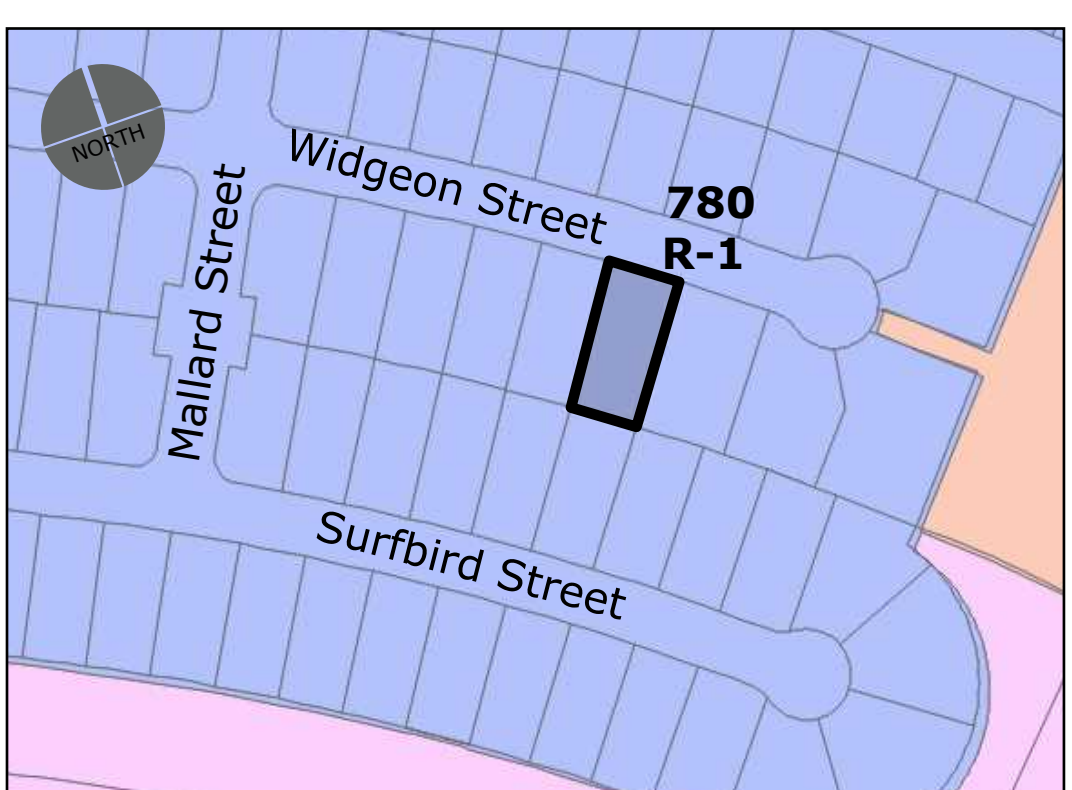


PROJECT LOCATION



PROJECT LOCATION



PROPERTY INFORMATION:

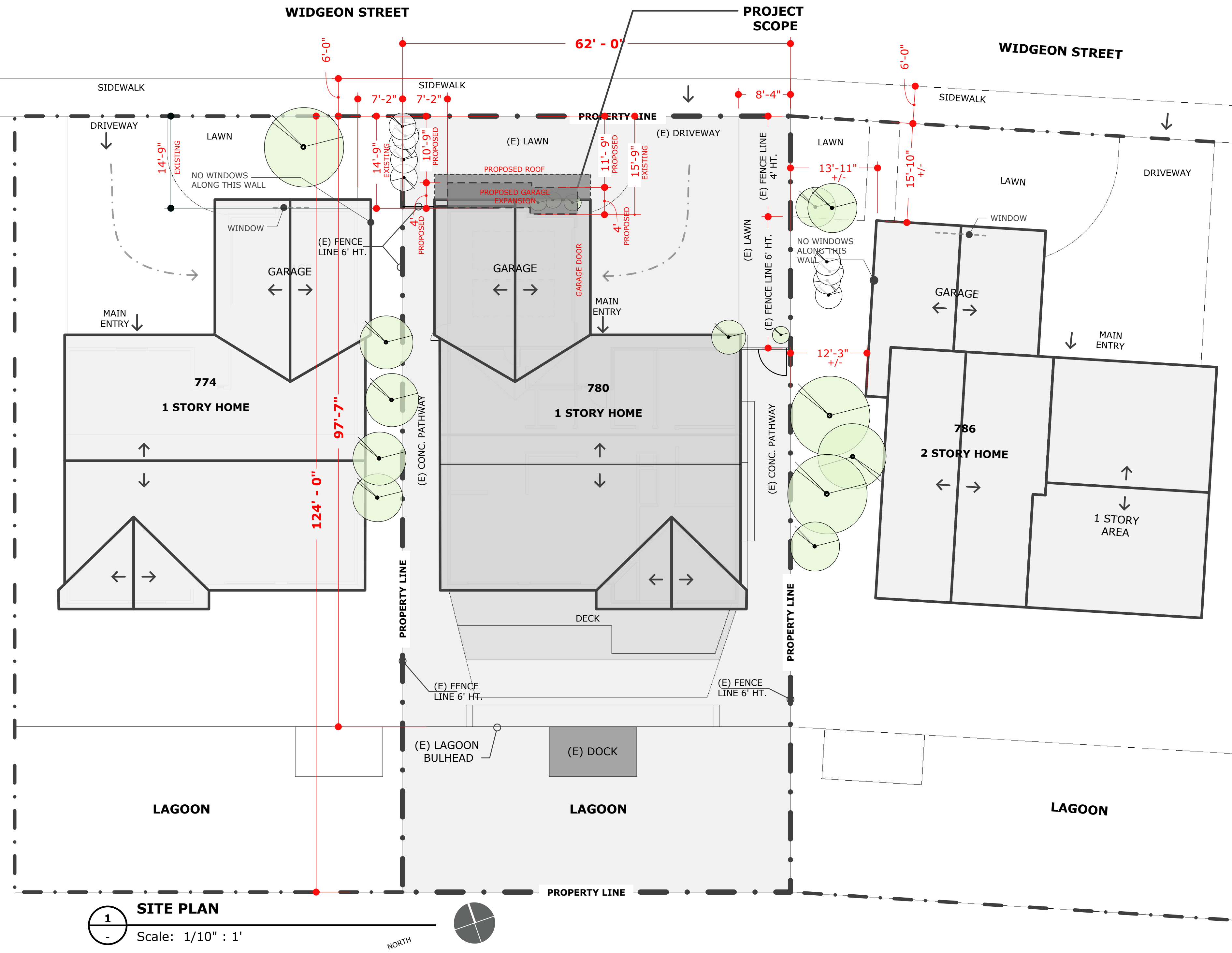
Zoning Class: **R-1**
Zoning Description: Single-Family Residence District
Site Address: **780 WIDGEON ST, FOSTER CITY, CA**
Parcel ID: 094172490

PROJECT DESCRIPTION

The project will consist in the extension of the garage front façade at the property located at 780 Widgeon St. by 4' - 0" projecting into the front yard. The Property is Single-Family Residence (R-1) one story level with attached garage.
The expansion project will maintain the same architectural features, materials, colors and style to match the exiting conditions.

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PROPERTY SITE



PROJECT SUMMARY

PROJECT SUMMARY TABLE:		
NET LOT AREA: Dry Land (Only include land area, not portion in lagoon)	aprox 6050 square feet	
	EXISTING	PROPOSED
FLOOR AREA 1 ST FLOOR:	1795 square feet	1795 square feet
FLOOR AREA 2 ND FLOOR:	square feet	square feet
GARAGE:	450.6 square feet	533.6 square feet
TOTAL FLOOR AREA:	2245.6 square feet	2328.6 square feet
LOT COVERAGE: 6050 SF Include all land area covered by all structures (ex. sheds, patio covers), including all projections (covered entryways) except eaves, divided by the net lot area	2616.6 square feet (0.43%)	2713.7 square feet (0.44%)
HEIGHT: Average height of sloped roof measured from the top of the ridge to the lowest point of the sloped roof. If there are multiple ridges, calculate average of the two highest – see sample attached.	13 feet 9 inches	13 feet 9 inches

SETBACKS:		
Front 1 st story	14 feet 9 inches	10 feet 9 inches
Front 2 nd story	feet inches	feet inches
Rear 1 st story	19 feet 8 inches	19 feet 8 inches
Rear 2 nd story	feet inches	feet inches
Right side 1 st story	25 feet 9 inches	25 feet 9 inches
Right side 2 nd story	feet inches	feet inches
Left side 1 st story	7 feet 9 inches	7 feet 9 inches
Left Side 2 nd Story	feet inches	feet inches

SPECIFIC EXTERIOR COLORS AND MATERIALS:	EXISTING	PROPOSED
Siding	WOOD / GRAY	TO MATCH EXISTING
Trim	WOOD / WHITE	TO MATCH EXISTING
Roof	SHINGLE / GRAY	TO MATCH EXISTING

610 Foster City Blvd., Foster City CA, 94404 • 650.286.3225 • E-mail us at: edd@fostercity.org • Website: www.fostercity.org
Hours: 8am – 12pm and 1pm – 4:30pm • Monday – Thursday. Closed Fridays.

INDEX

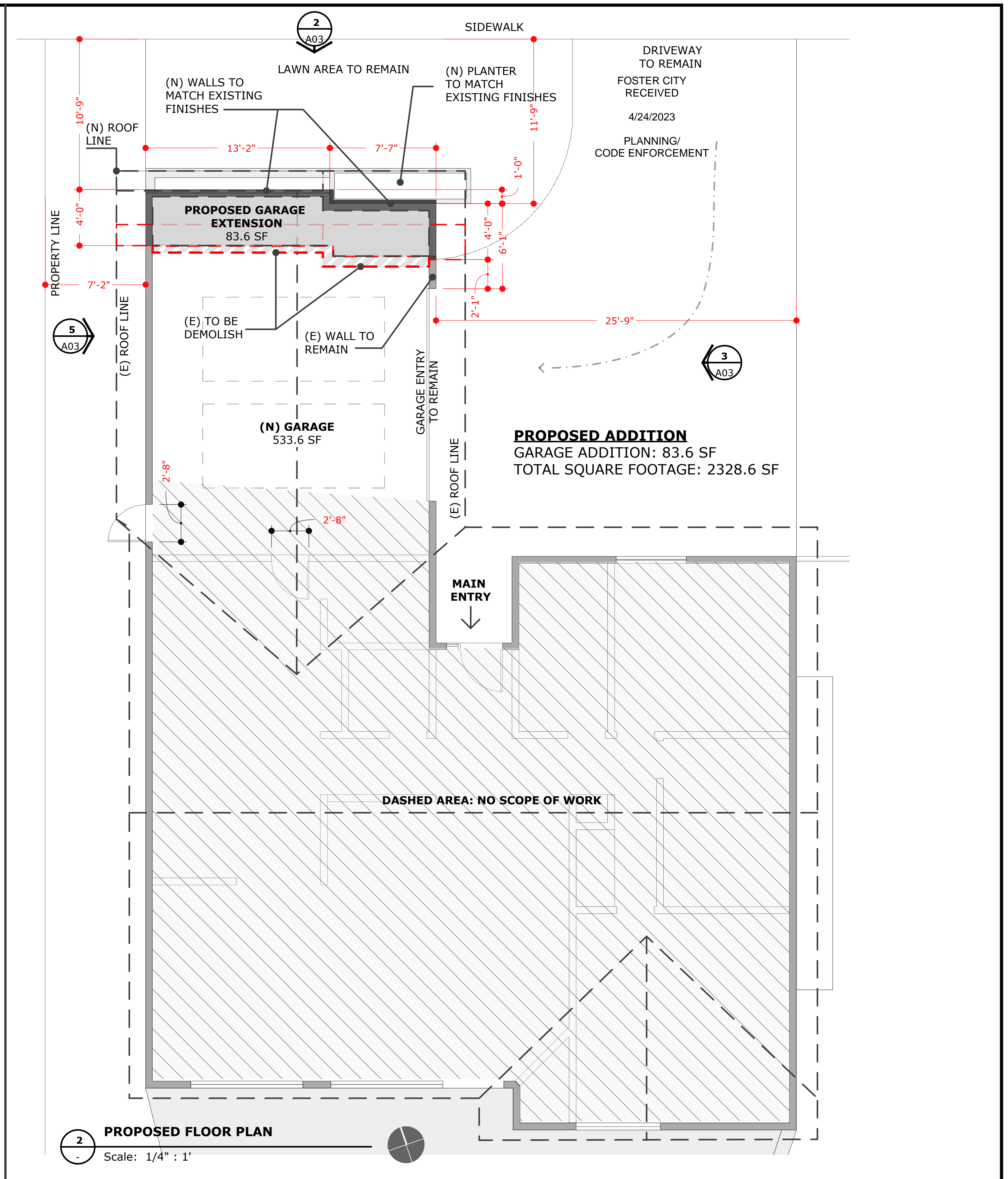
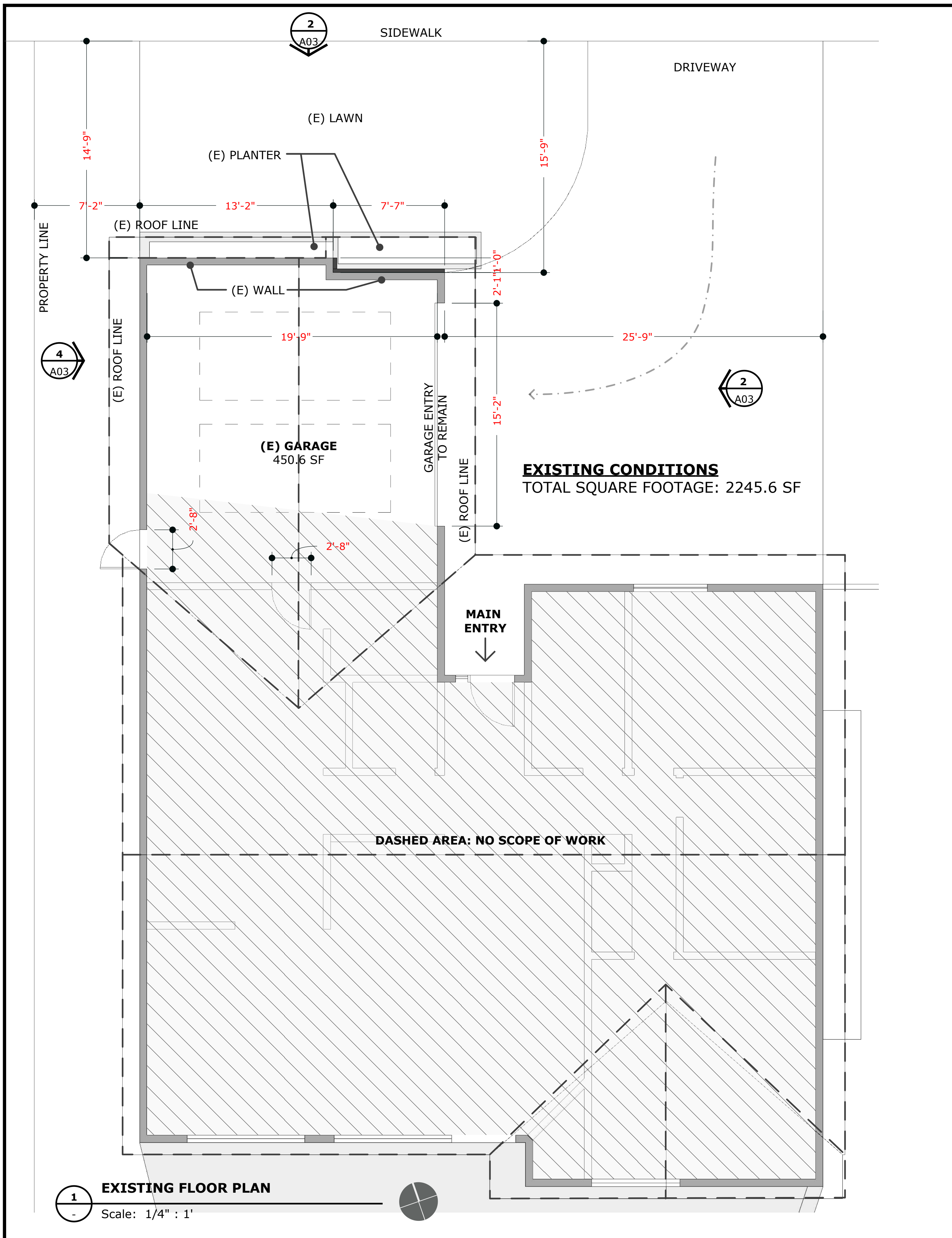
- COVER PAGE - PROJECT INFORMATION
1. FLOOR PLANS
 2. ROOF PLANS
 3. ELEVATIONS
 4. PHOTOS
 5. SETBACK REQUIREMENTS (10.54.070)

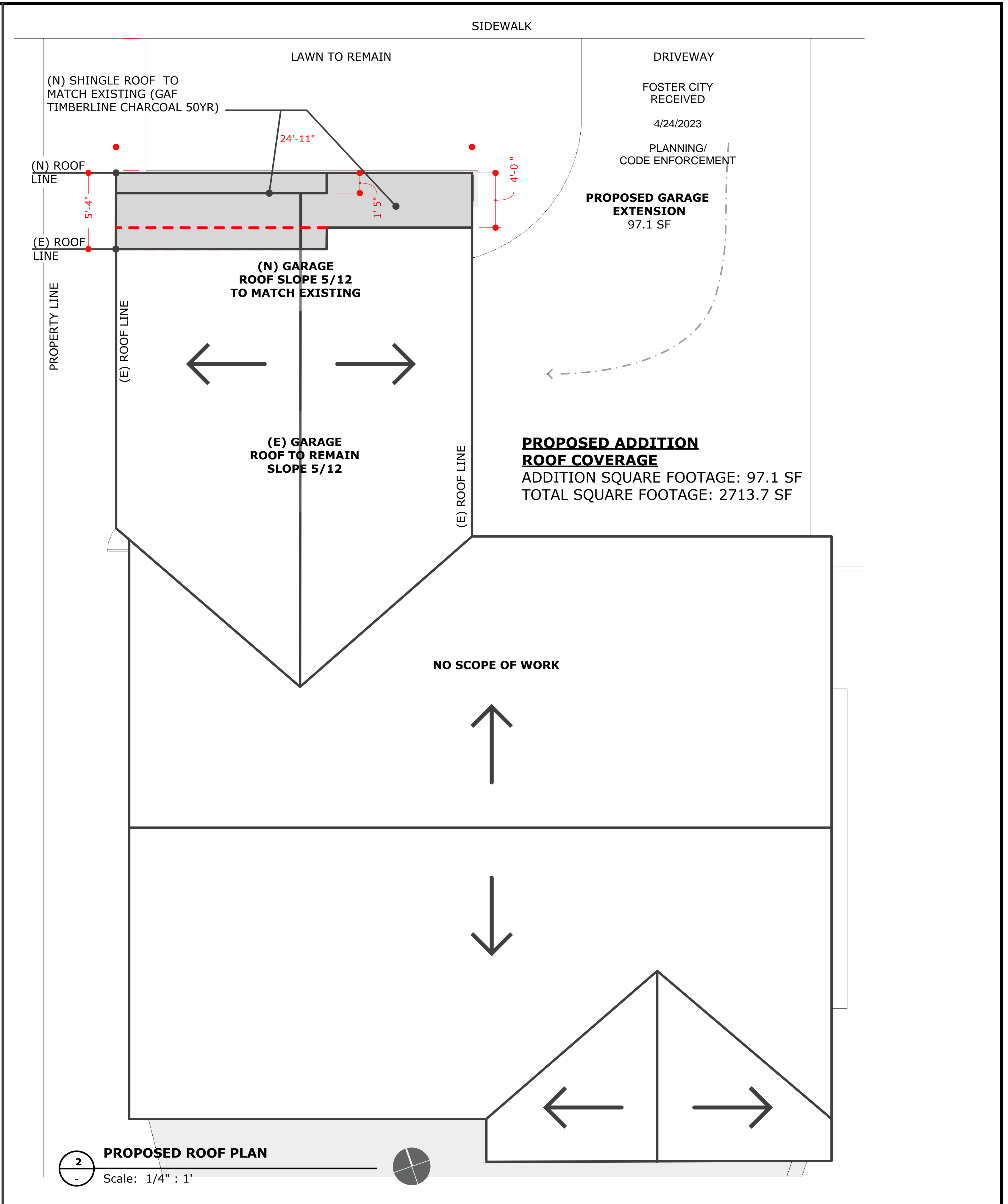
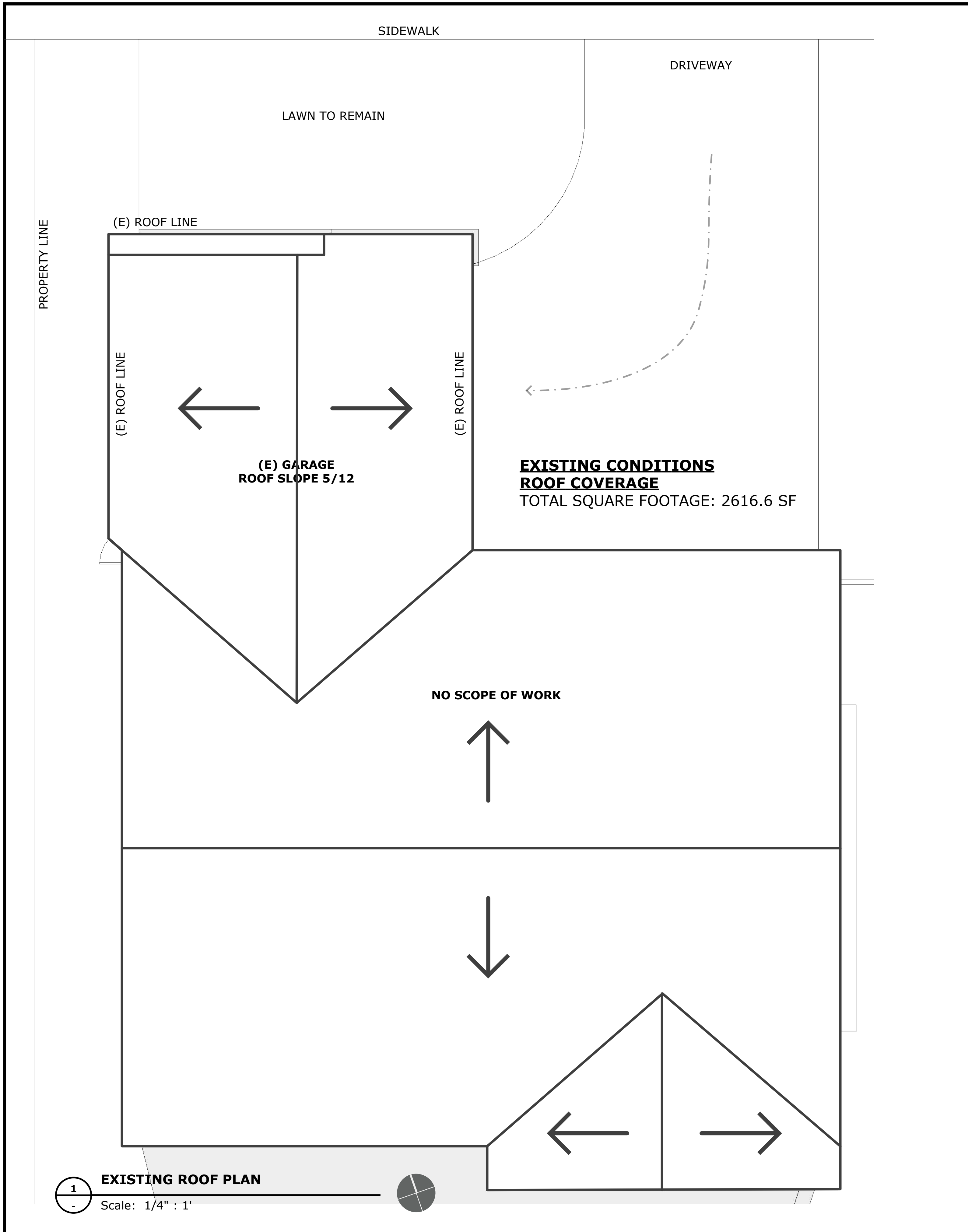
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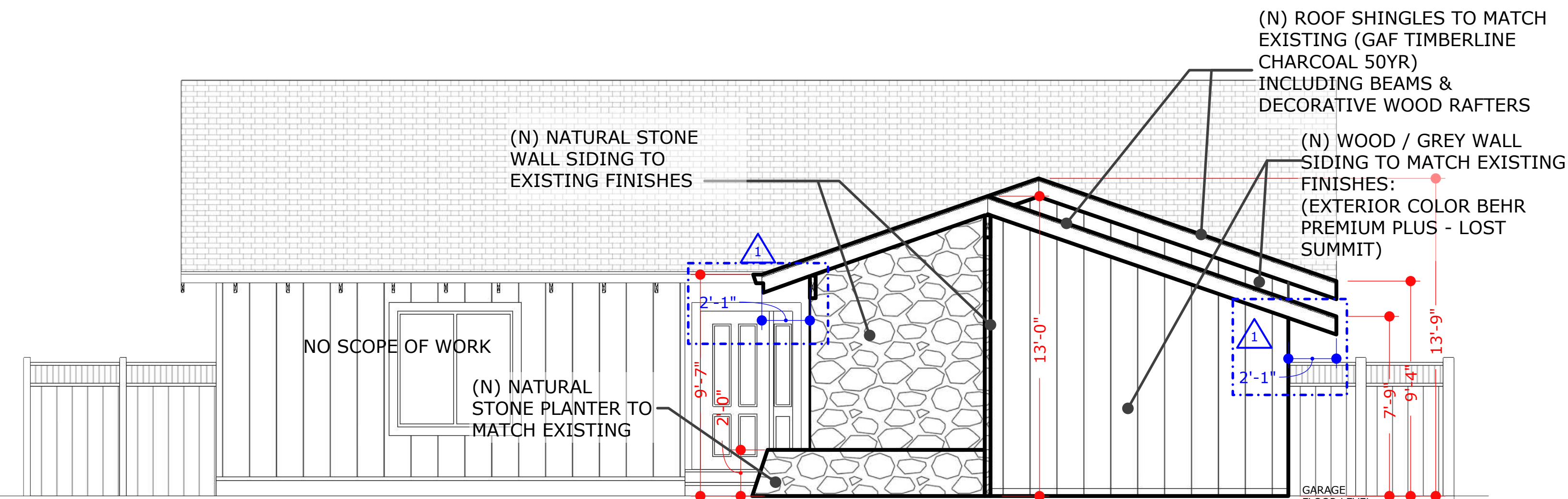
 REVISION 04/20/2023

Project Owner: **Ralf Ruckelshausen**
780 Widgeon Street, Foster City CA.

780 Widgeon ST. Garage Expansion

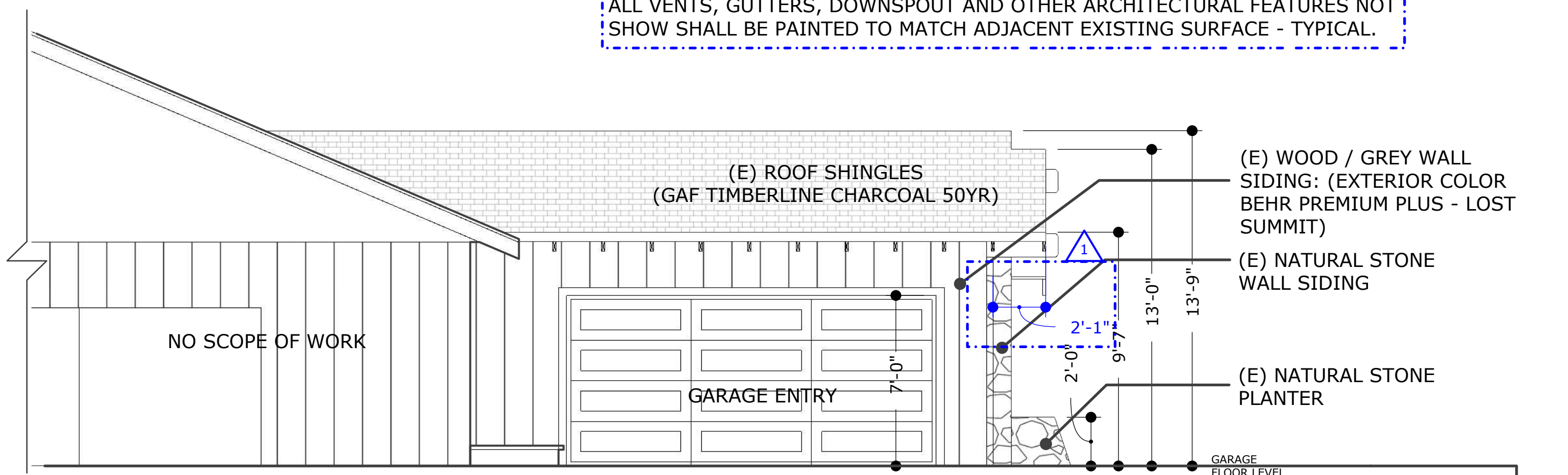




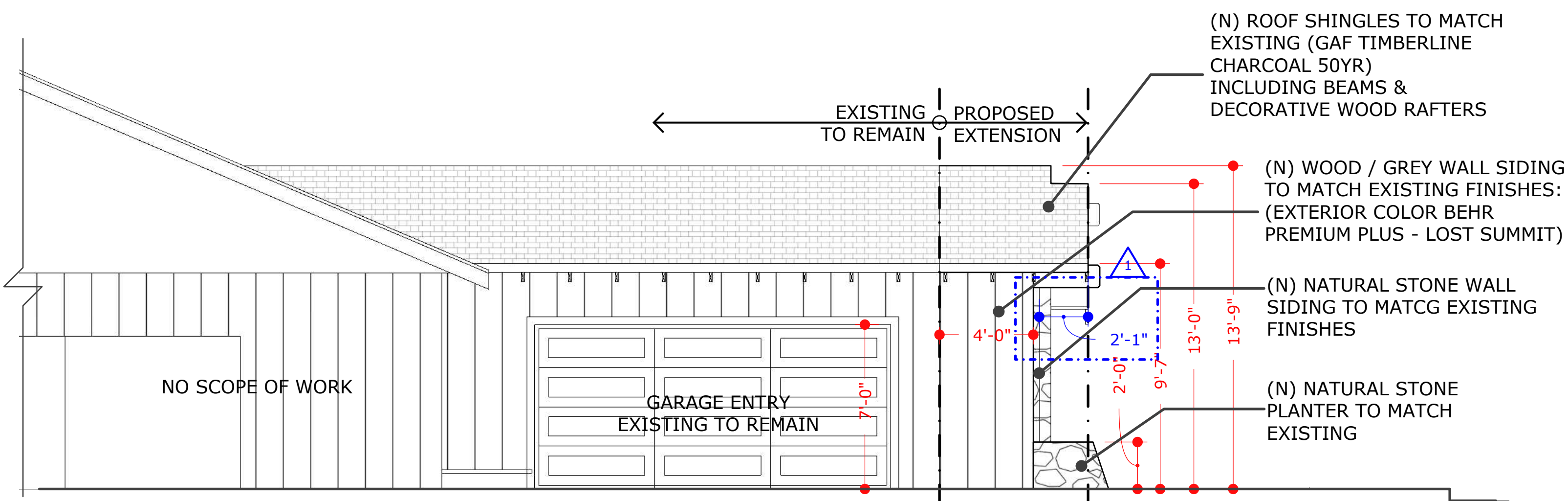


1 NORTH ELEVATION (FRONT) - EXISTING & PROPOSED (ADDITION TO MATCH EXISTING)
Scale: 1/4" : 1'

GENERAL NOTE:
ALL VENTS, GUTTERS, DOWNSPOUT AND OTHER ARCHITECTURAL FEATURES NOT SHOW SHALL BE PAINTED TO MATCH ADJACENT EXISTING SURFACE - TYPICAL.



2 EAST ELEVATION (SIDE) - EXISTING
Scale: 1/4" : 1'



3 EAST ELEVATION (SIDE) - PROPOSED
Scale: 1/4" : 1'

GENERAL NOTE:
ALL VENTS, GUTTERS, DOWNSPOUT AND OTHER ARCHITECTURAL FEATURES NOT SHOW SHALL BE PAINTED TO MATCH ADJACENT EXISTING SURFACE - TYPICAL.

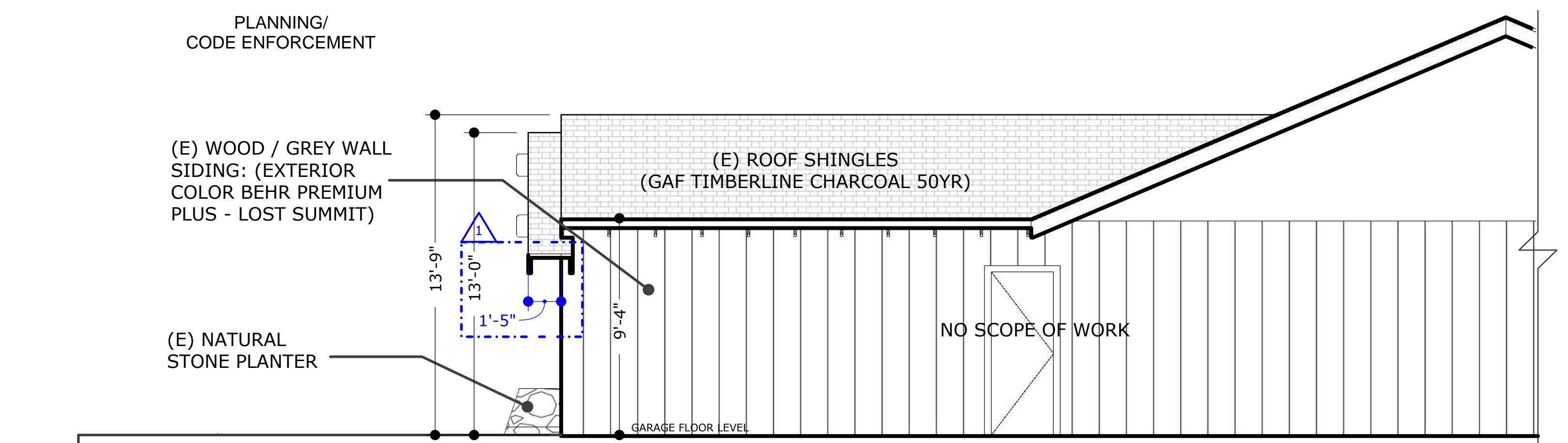


6 NORTH ELEVATION VIEW - EXISTING
Scale: NTS.

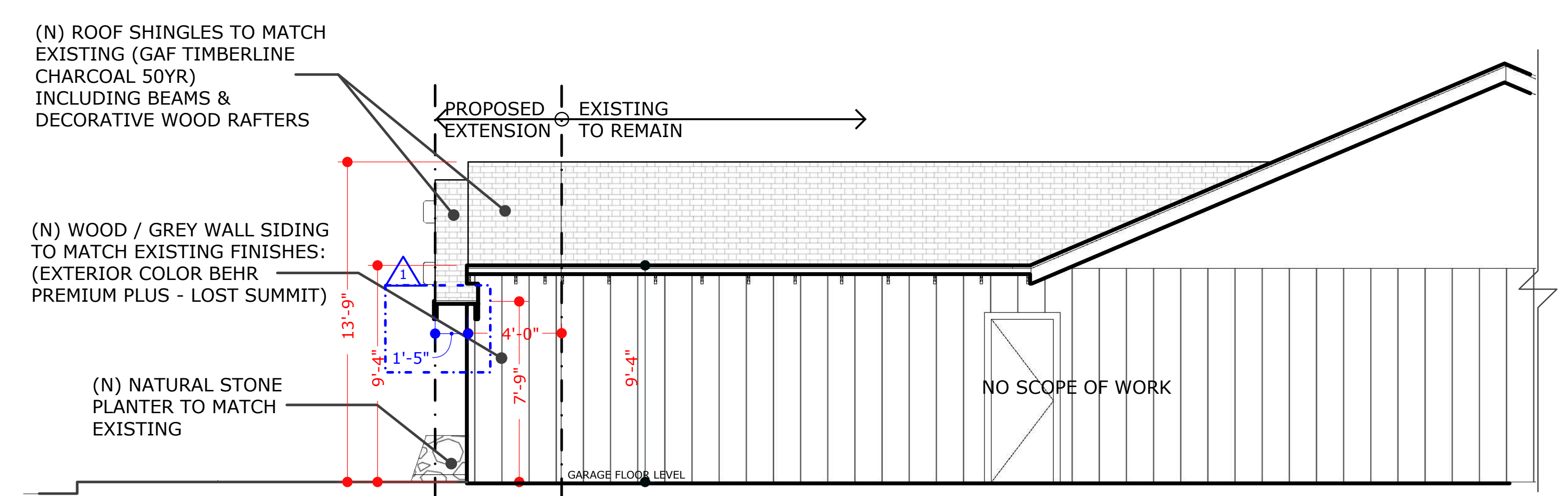
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7 NORTH ELEVATION VIEW - PROPOSED
Scale: NTS.



4 WEST ELEVATION (SIDE) - EXISTING
Scale: 1/4" : 1'



5 EAST ELEVATION (EAST) - PROPOSED
Scale: 1/4" : 1'



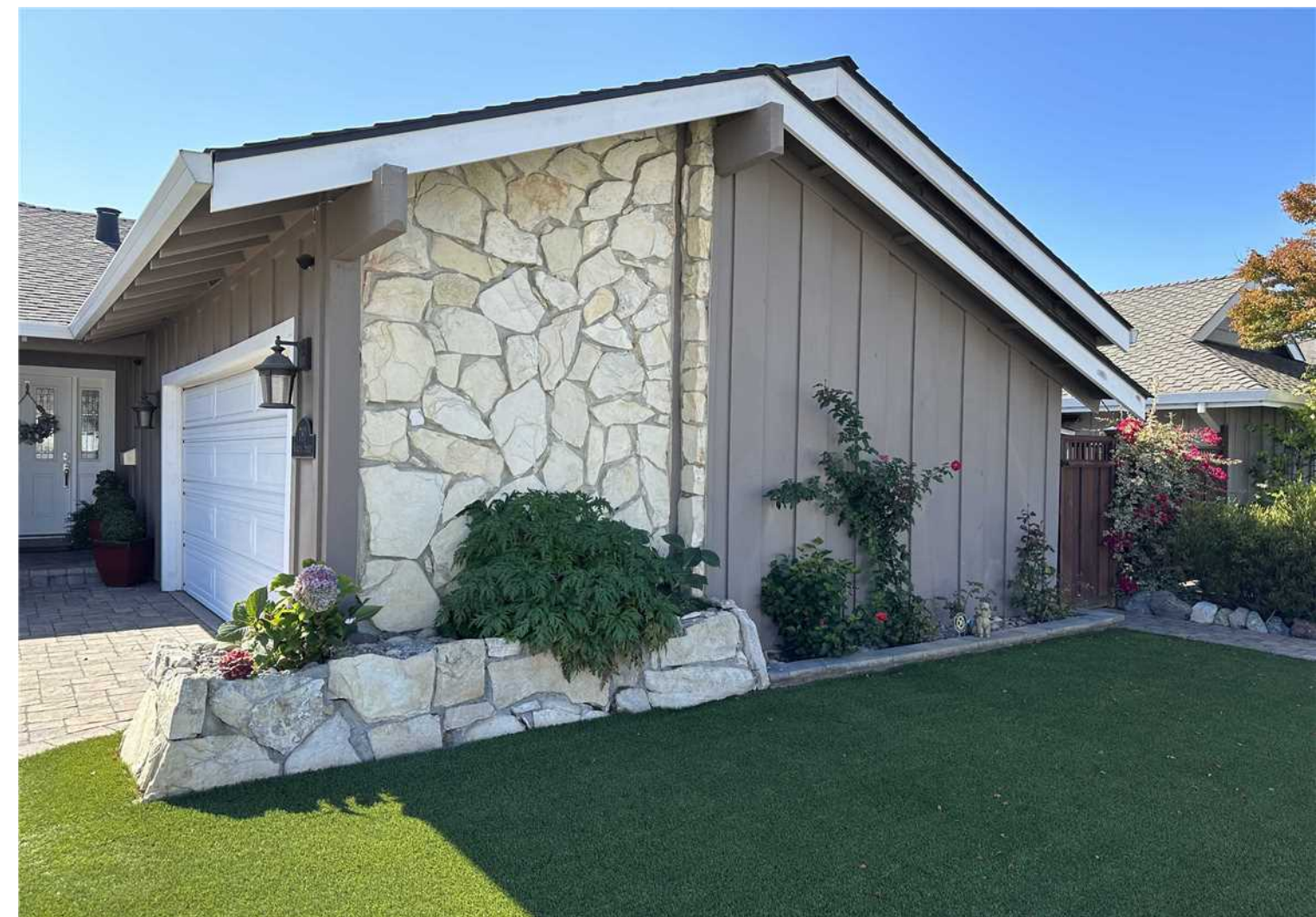
FRONT FACADE - NORTH VIEW



SIDE FACADE - EAST VIEW



SIDE FACADE - WEST VIEW



FRONT FACADE - DETAIL VIEW



SIDE FACADE - GARAGE DETAIL VIEW



SIDE FACADE - DETAIL VIEW

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780 WIDGEON STREET ADJACENT PROPERTIES DETAIL VIEW

17.54.070 Setback in previously-developed areas.Email Link
In any "R" district, where four or more lots in a block have been improved with buildings at the time of the passage of the ordinance codified in this title (not including accessory buildings), **the minimum required front setback shall be the average of the improved lots**, if the setback is less than the stated requirements of the districts. (Ord. 38 § 1 (part), 1972; prior code § 10-406.092)

17.54.080 Setback reductions and encroachments.
A. The planning commission may, by use permit, **grant a reduction of the front yard setback to not less than five feet upon an application including not less than five contiguous lots**; provided, that **at least one uncovered off-street parking space is provided in addition to each off-street parking space required by Chapter 17.62 for each lot having a setback of less than twenty feet.**

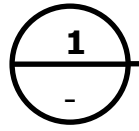
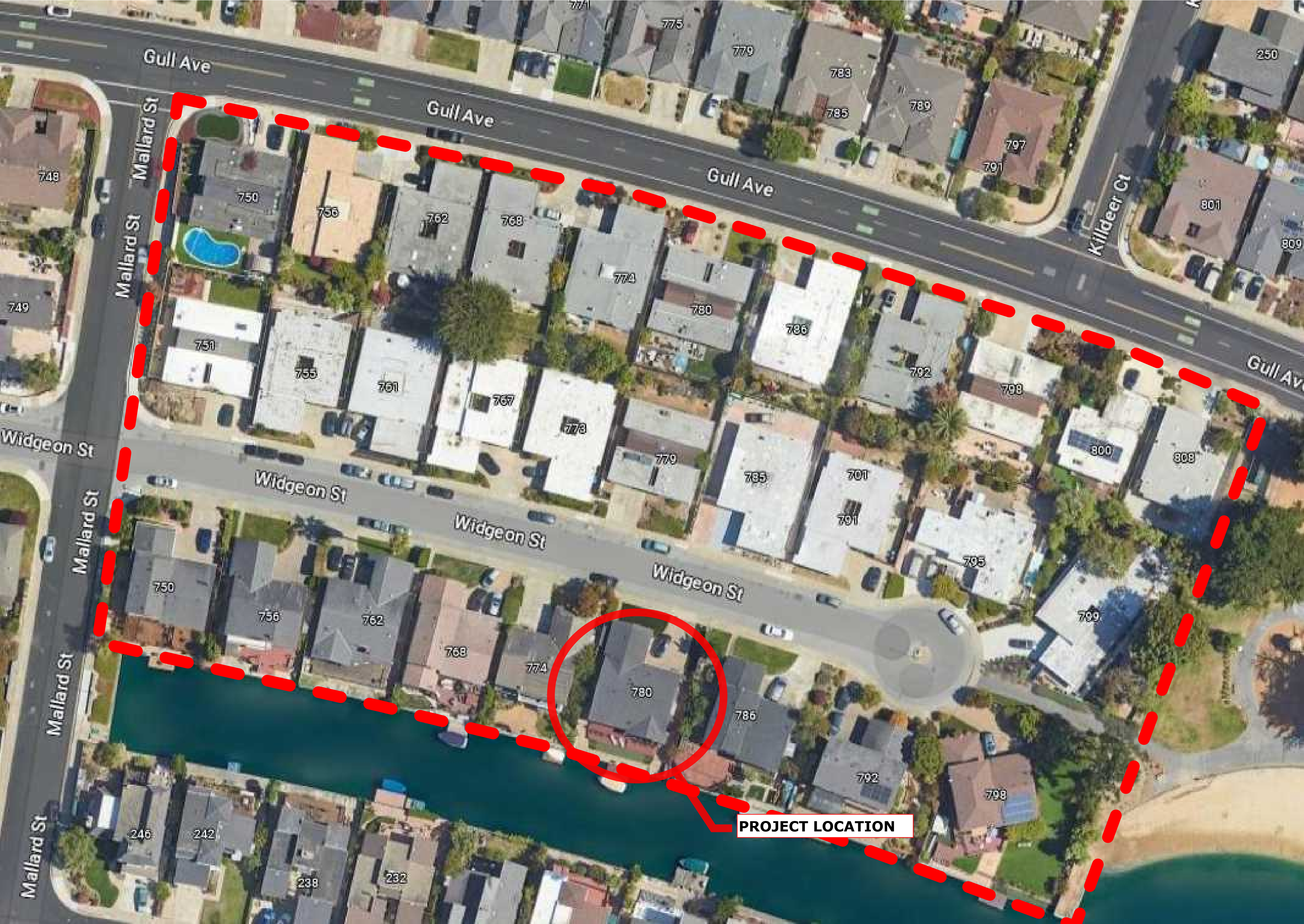
Total average setback to sidewalk (BY BLOCK)
30 units = 14' 9"

780 Widgeon St. Proposed Setback:
Existing 15' - 9"
Proposed 10' - 9"

Meet 10.54.080 requirement (A): at least one parking space is provided in addition to each off street parking space is required

Overall Average Setback		
Street	Inches	Feet
Widgeon South	188.44	15.7
Widgeon North	157.65	13.1
Gull	191.91	16.0
avg	179.33	14.9

Block Setbacks by Lot				
No.	Street	Lot Number	Setback (Feet)	Notes
1	Widgeon South	750	21.2	corner house
2	Widgeon South	756	19.3	
3	Widgeon South	762	11.6	
4	Widgeon South	768	16.3	
5	Widgeon South	774	16.4	
6	Widgeon South	780	10.9	New Proposed Setback
7	Widgeon South	786	16.6	
8	Widgeon South	792	10.8	
9	Widgeon South	798	18.3	culdesac end
		avg	15.7	
10	Widgeon North	799	38.9	culdesac end
11	Widgeon North	795	11.8	
12	Widgeon North	791	6.1	
13	Widgeon North	785	6.3	
14	Widgeon North	779	21.5	
15	Widgeon North	773	6.8	
16	Widgeon North	767	6.3	
17	Widgeon North	761	6.3	
18	Widgeon North	755	6.3	
19	Widgeon North	751	21.2	corner house
		avg	13.1	
20	Gull Street	750	25.1	corner house
21	Gull Street	756	9.6	
22	Gull Street	762	9.7	
23	Gull Street	768	9.8	
24	Gull Street	774	9.8	
25	Gull Street	780	25.5	
26	Gull Street	786	9.9	
27	Gull Street	792	9.8	
28	Gull Street	798	24.5	
29	Gull Street	800	17.4	
30	Gull Street	808	24.8	next tp park
		avg	16.0	



SETBACK REDUCTIONS AND ENCROACHMENTS - DETAIL

Scale: NTS

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