



GILEAD NRC 331

331 LAKESIDE DRIVE FOSTER CITY, CA 94404

USE PERMIT PROJECT # UP2023-0079

USE PERMIT SET

09.28.2023



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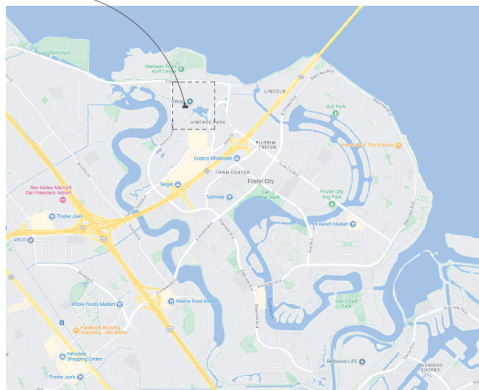
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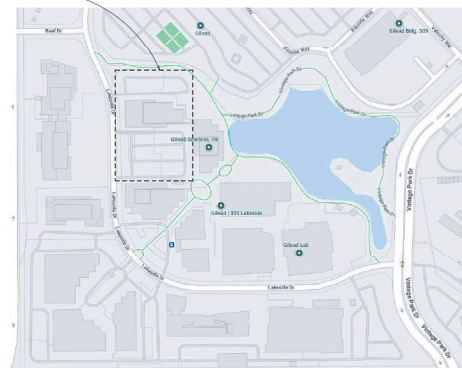
VICINITY MAP

SITE



LOCATION MAP

SITE



DEVELOPMENT DATA

PROPOSED USE				
ZONING	RESEARCH LABORATORY			
EXISTING SITE DATA	CML PFD	094-004-320	094-004-330	094-004-310
AREA		60,374 SF	110,886 SF	72,092 SF
COVERAGE		22,830 SF (37.3%)	22,182 SF (20%)	27,310 SF (37.9%)
EXISTING BUILDING DATA				
BUILDING	331			
AREA	21,321 SF			
TOTAL PARCEL AREA				
127,700 SF				
BUILDING HEIGHT	ALLOWED	STORIES	ROOF	SCREEN
		1-10	17'	192'
	PROPOSED	5	88'	108'
PROPOSED BUILDING AREA				
LEVEL 1		40,647		
LEVEL 2		35,332		
LEVEL 3		36,068		
LEVEL 4		35,172		
LEVEL 5		34,791		
TOTAL		182,000 SF		
ROOFTOP PENTHOUS				
10,075 SF				
PROPOSED SITE COVERAGE				
		AREA		%
NRC 331 FOOTPRINT		40,900		32.0%
PLANTING		40,500		31.0%
PEDESTRIAN HARDSCAPE		30,500		24.1%
VEHICULAR HARDSCAPE		16,600		13.0%
TOTAL		128,500 SF		100%
		PERVIOUS AREA	44,700 SF	35%
(PLANTING & PERMEABLE HARDSCAPE)				
IMPERVIOUS AREA		83,800 SF		65%
*PERCENT COVERAGE IS CALCULATED WITH APPROXIMATE 128,500 SF LIMIT OF WORK SHOWN IN DRAWINGS.				

EXISTING PARKING TO BE REMOVED

	TOTAL
BLDG 331	155
BLDG 331	108
	263

PARKING TO BE CREATED

STANDARD	ADA (STANDARD)	ADA (VAN)	TOTAL	BICYCLE	LOADING
6	5	2	13	16	2

* ALL PARKING STALLS ARE IN COMPLIANCE WITH FOSTER CITY STANDARDS.

GENERAL DEVELOPMENT PLAN CONSISTENCY

The table below summarizes the consistency of the proposed NRC331 (new research center building) with the adopted GDP for the site.

Gilead Sciences Integrated Campus	Approved GDP Maximum Build-out SF	Existing Campus SF	Net New SF w/ Proposed NRC 331	Integrated Campus SF Total w/ NRC 331	Remaining SF in GDP
South Campus					
Office	45,505*	45,505*	(20,737)	24,768*	0
Biopharmaceutical Laboratory	1,407,495	1,091,321	182,000	1,273,321	154,911
Materials	5,100	0	0	0	5,100
Storage/Warehouse					
Total South Campus	1,458,100	1,136,826	161,263	1,298,089	160,011
North Campus					
Office	1,024,000	618,524	0	618,524	405,476
Materials	18,500	0	0	0	18,500
Storage/Warehouse					
Total North Campus	1,042,500	618,524	0	618,524	423,976
Integrated Campus					
Office	1,069,505	664,029	(20,737)	643,292	405,476
Biopharmaceutical Laboratory	1,407,495	1,091,321	182,000	1,273,321	154,911
Materials	23,600	0	0	0	23,600
Storage/Warehouse					
Total Integrated Campus	2,500,600	1,755,350	161,263	1,916,613	563,987

* Existing office proposed for reclassifying into lab approved by Ordinance No. 661

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PROJECT DESCRIPTION

Gilead is requesting City review and approval of a Use Permit/Specific Development Plan to entitle a new 2182,000 square-foot research center building (NRC331) to replace an existing 20,737 square-foot office building located at 331 Lakeside Drive in the South Campus of the Gilead Sciences Integrated Campus Master Plan.

NRC331 (new research center building) is a 5-story, fully sprinklered building to contain life-science research laboratories and accessory office functions. The project site is the current location of Building 331, which is to be demolished. The site is bounded by Lakeside Drive (West), existing surface parking (North), existing building 333 (East), and a second surface parking lot (South). PG&E high tension lines over the existing surface parking to the north are accompanied by an access easement which defines the limits of the building footprint in that direction. The surface parking lot to the south will be replaced with landscaping.

Proposed Project - Design

NRC331 (new research center building) will provide a workplace for scientists; it will be designed to accelerate experimental velocity, experimental throughput, and to maximize collaboration and innovation. Each floor will contain suites of laboratories with dedicated function spaces for research equipment, support spaces for the handling of biological materials, traditional workstations separated from the research space, and collaboration spaces. The ground floor of the building will also contain an ancillary meeting space.

At the levels, the building massing is in relation to adjacent buildings and is compatible with the surrounding neighborhood. Its location on the site creates a pedestrian focused landscape quad that will be framed by other existing buildings. Locating the building at the north end of the site allows for optimal environmental protection while allowing solar access to the pedestrian landscape space. The exterior facades of the building will be of materials predominantly light and neutral in color, and neutral in color, and neutral in color. The vertical fins provide shading for the glass and will limit solar heat gain and increase occupant comfort. The recessed apertures in the upper massing will highlight the circulation and collaboration spaces within the building, with accent materials defining these spaces.

South Elevation

The south facade represents a strong contemporary identity with a human scale at the base, with recessed portions of glazing to encourage visual and physical access. The primary facade treatment is a projected metal frame that defines the massing with a consistent language that is applied at all elevations. The frame is set at two-level depths to emphasize horizontality. The vertical fins provide shading for the glass and will limit solar heat gain and increase occupant comfort. The recessed apertures in the upper massing will highlight the circulation and collaboration spaces within the building, with accent materials defining these spaces.

East/West Elevations

Building massing along the facade line put circulation on display while articulating the facade to soften the repetition of the vertical fin patterning. This zone will also host the landing location of the pedestrian bridge at the third level. Higher performing glazing will be located along these elevations to limit more direct solar gain, lessening energy impact and limiting internal glare.

North Elevation

This facade will be complementary to the south elevation, with a more subtle approach to the recessed apertures in the upper volume that reflect the lab location of the floor plan. The apertures will put 'science on display'. The utility enclosure at the ground level will be integrated into the architecture, working in harmony with the material palette and quality of the building as a whole.

Landscaping materials and plantings will consist of products and species identified in the Vintage Park Design Guidelines and Approved Vintage Park List, with additional species which are regionally relevant for a drought-sensitive environment.

General Development Plan Consistency

The proposed NRC331 (new research center building) is consistent with the adopted Vintage Park General Development Plan (GDP), originally approved by the City Council on November 4, 2013 (Ordinance No. 576). The GDP includes the development of a biopharmaceutical campus on approximately 72 acres with a maximum build-out of 2,500,000 square feet including a mix of office and biopharmaceutical laboratory space, as well as ancillary facilities such as parking, cafeterias, pilot plants, meeting spaces, manufacturing, warehouse and fitness facilities. On September 19, 2016 (Ordinance No. 601) and on February 6, 2022 (Ordinance No. 661), the City Council adopted amendments to the GDP allowing reallocations of office to laboratory square footage while keeping the same maximum build-out square footage for the Gilead Campus.



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Date	Description
07.28.2023	USE PERMIT PROJECT # UP0203-0079
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Project Name

GILEAD NRC 331

Project Number

001.2407.000

Description

PROJECT INFORMATION AND SHEET INDEX

Scale

As indicated

G0.01

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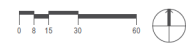
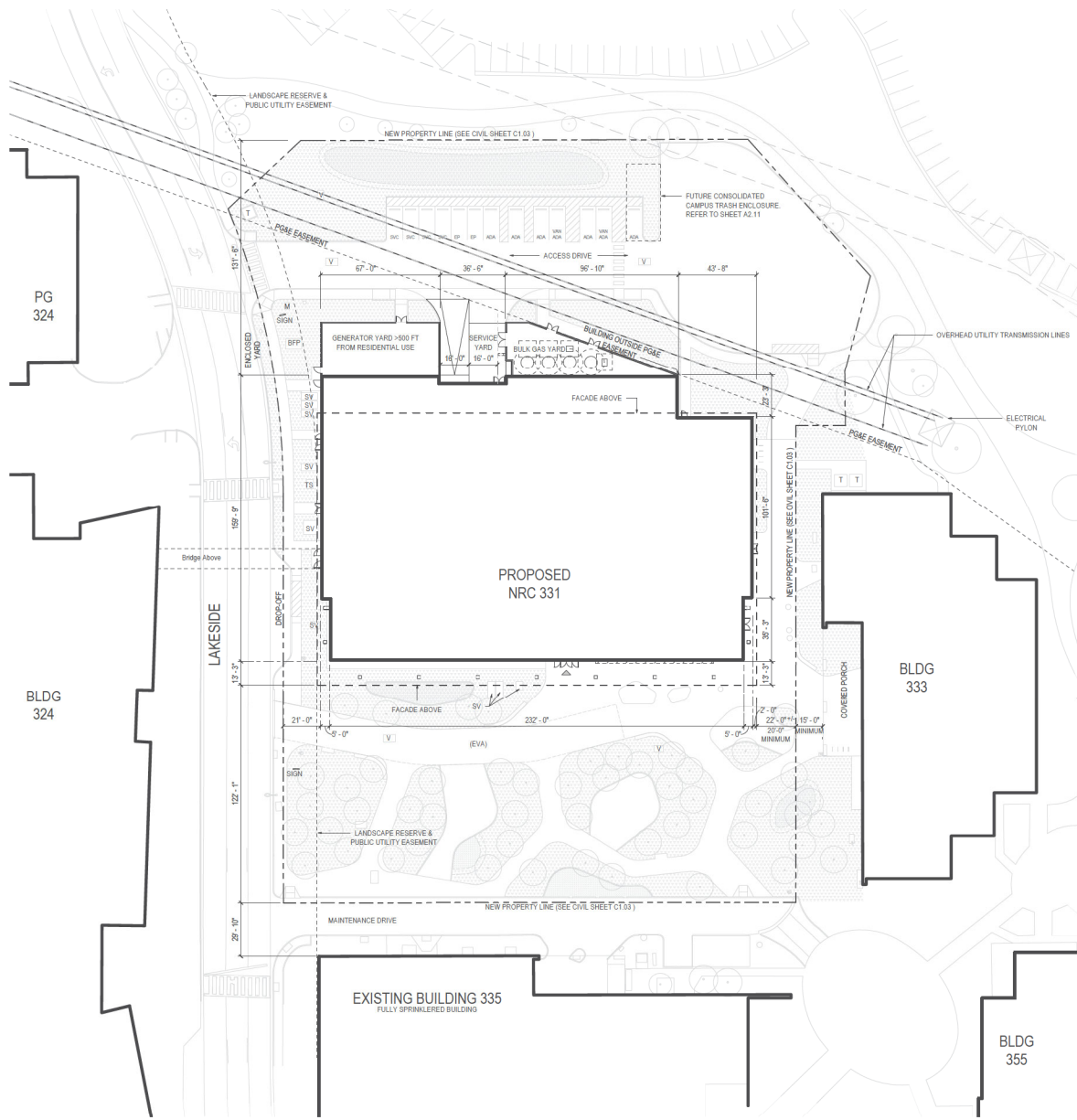
Project Number
001.2407.000

Description
PROPOSED CAMPUS SITE PLAN

Scale



G0.03



SHEET NOTES

GENERAL NOTES

- V UTILITY VAULT, AT GRADE
- S SWITCH, ABOVE GRADE
- SV SETTLEMENT VAULT, AT GRADE
- T TRANSFORMER, ABOVE GRADE
- BFP BACKFLOW PREVENTER, ABOVE GRADE
- EVA EMERGENCY VEHICLE ACCESS
- TS TRANSITION SWITCH, ABOVE GRADE
- M UTILITY METER, FLUSH WITH GRADE
- ADA PARKING STALL - ACCESSIBLE
- EP PARKING STALL - EXPECTANT PERSON
- SVC PARKING STALL - SERVICE / MAINTENANCE
- ▲ BUILDING ENTRANCE / EXIT DOOR

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GILEAD NRC 331

Project Number
001.2407.000

Description
PROPOSED SITE PLAN

Scale
1" = 30'-0"

A0.01



SHEET NOTES

INTERIOR FLOOR PLANS
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LEGEND

- OFFICE
- LAB
- CORE
- COMMUNITY LOBBY
- CIRCULATION/
COMMON AREA/PANTRY/
COLLABORATION SPACES

Date	Description
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Project Name

GILEAD NRC 331

Project Number

001.2407.000

Description

FLOOR PLAN LEVEL 01

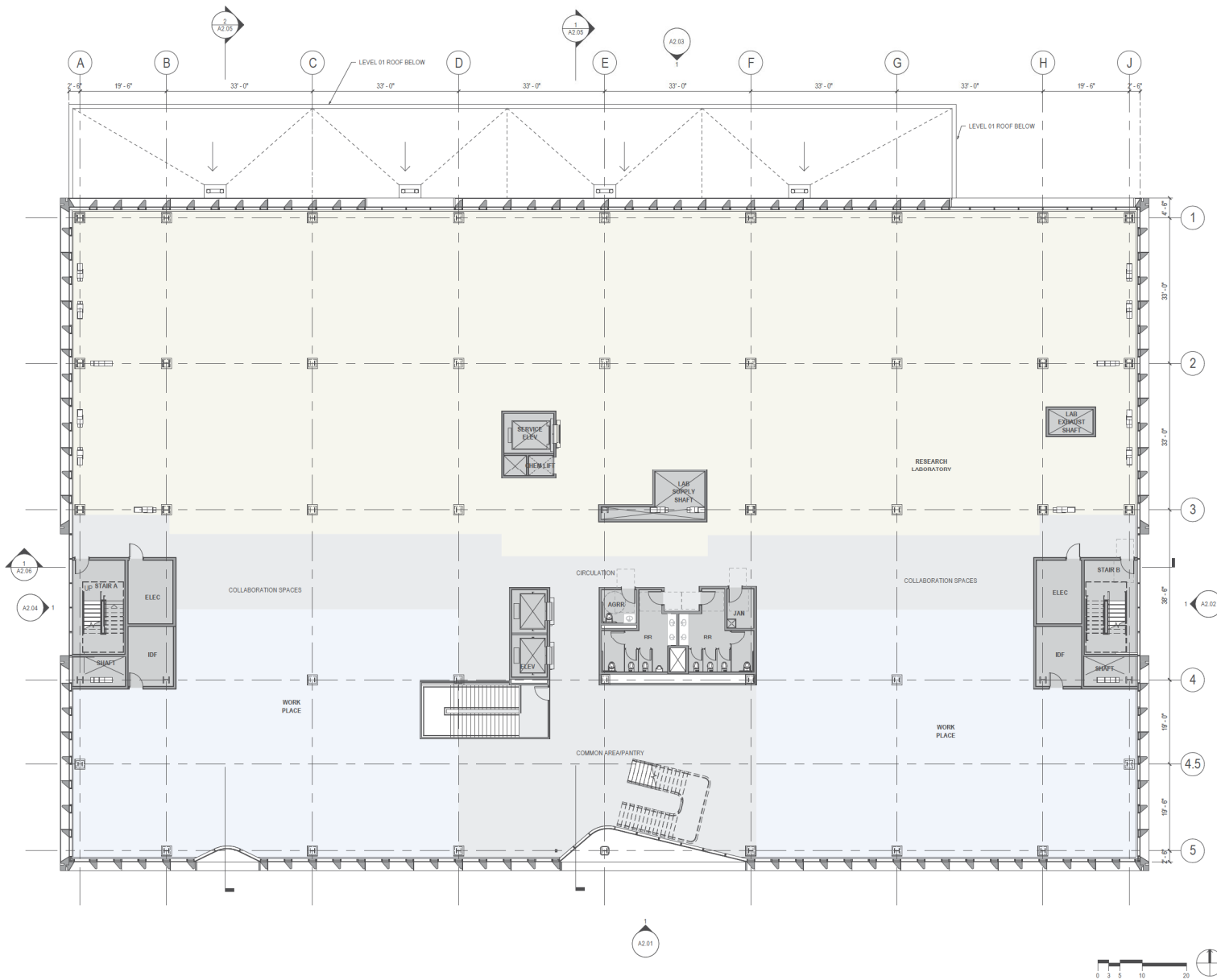
KEY PLAN

Scale

3/32" = 1'-0"

A1.01

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LEGEND

- OFFICE
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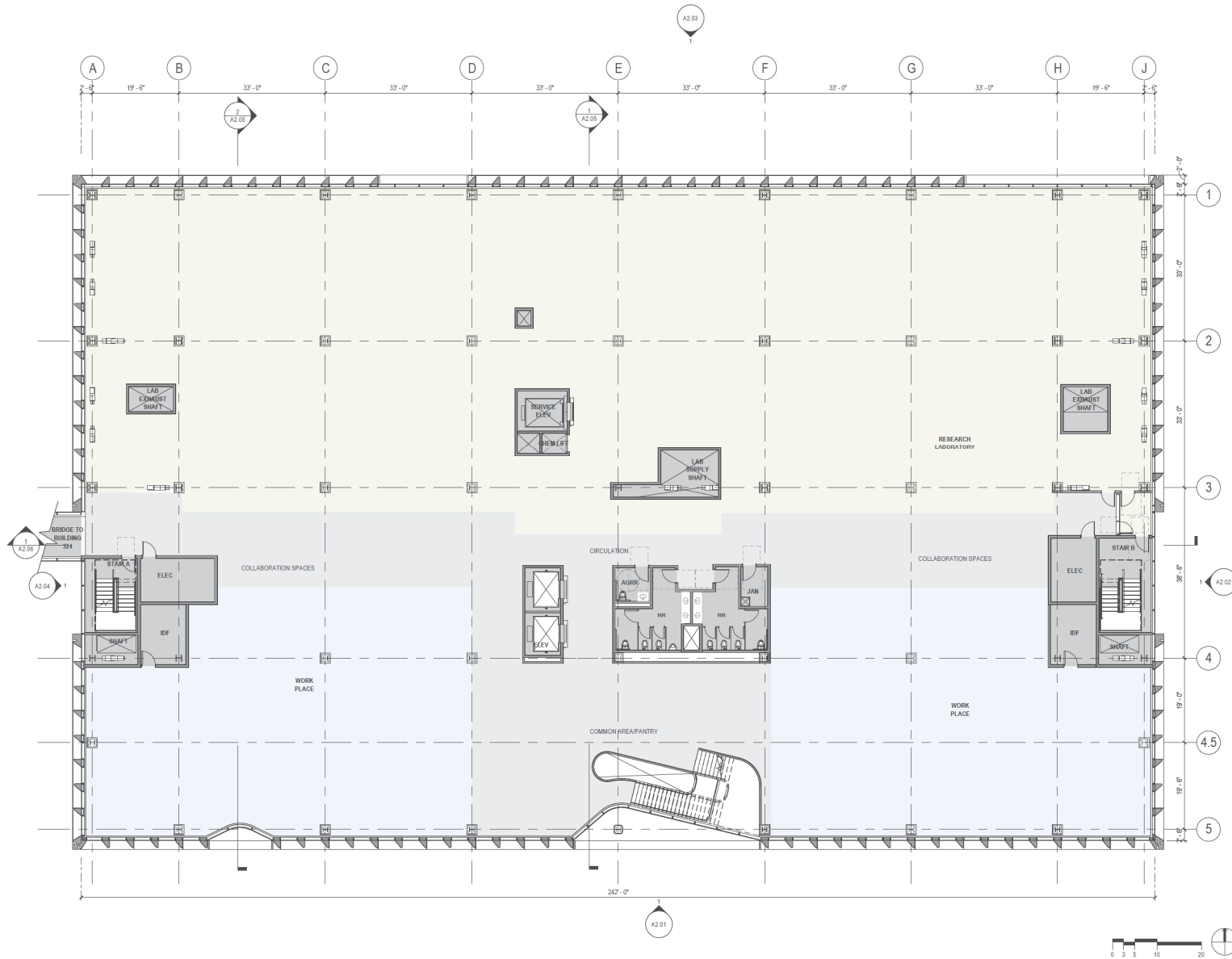
FLOOR PLAN LEVEL 02

Scale

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A1.02

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- LAB
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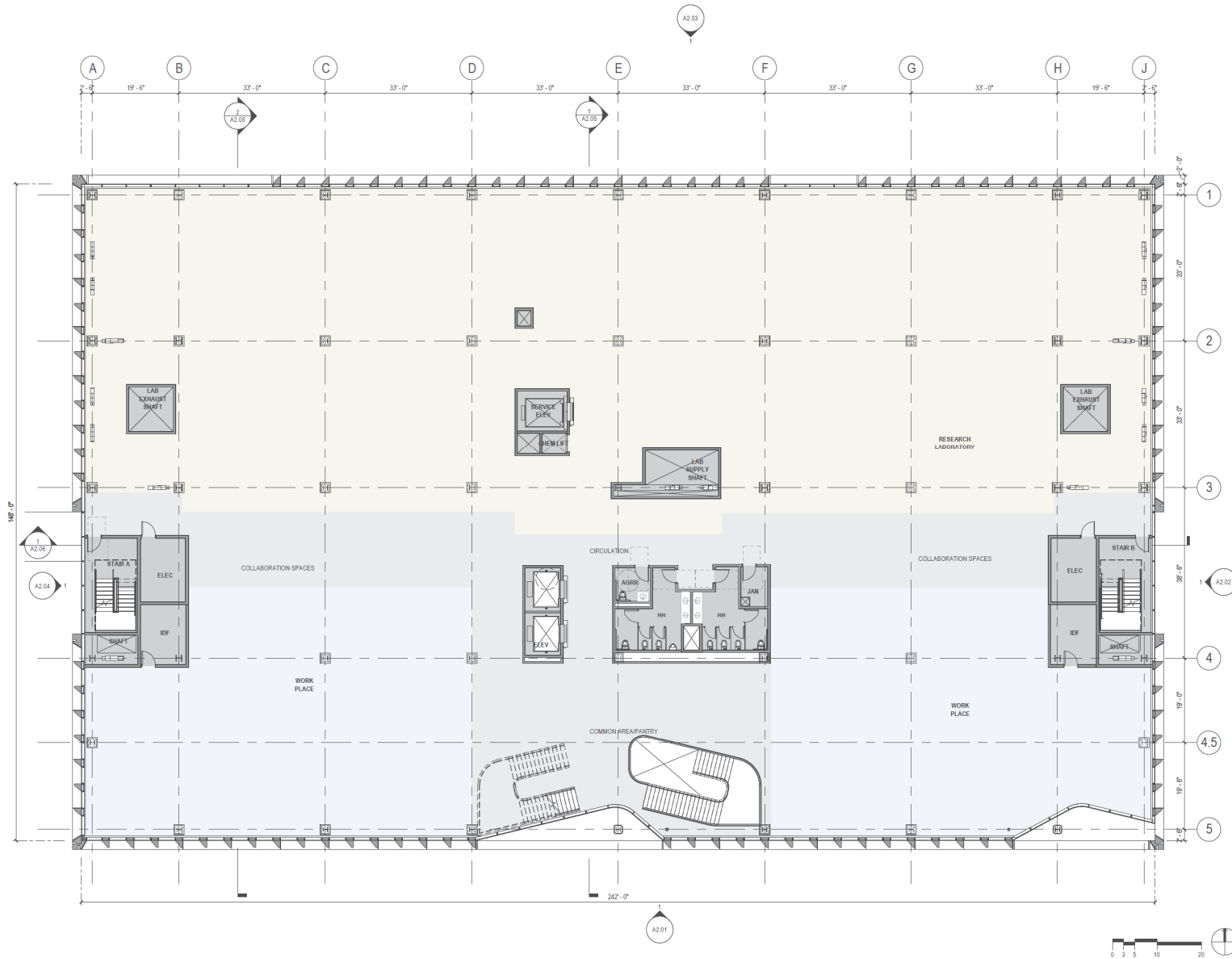
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Description
FLOOR PLAN LEVEL 03

Scale
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A1.03

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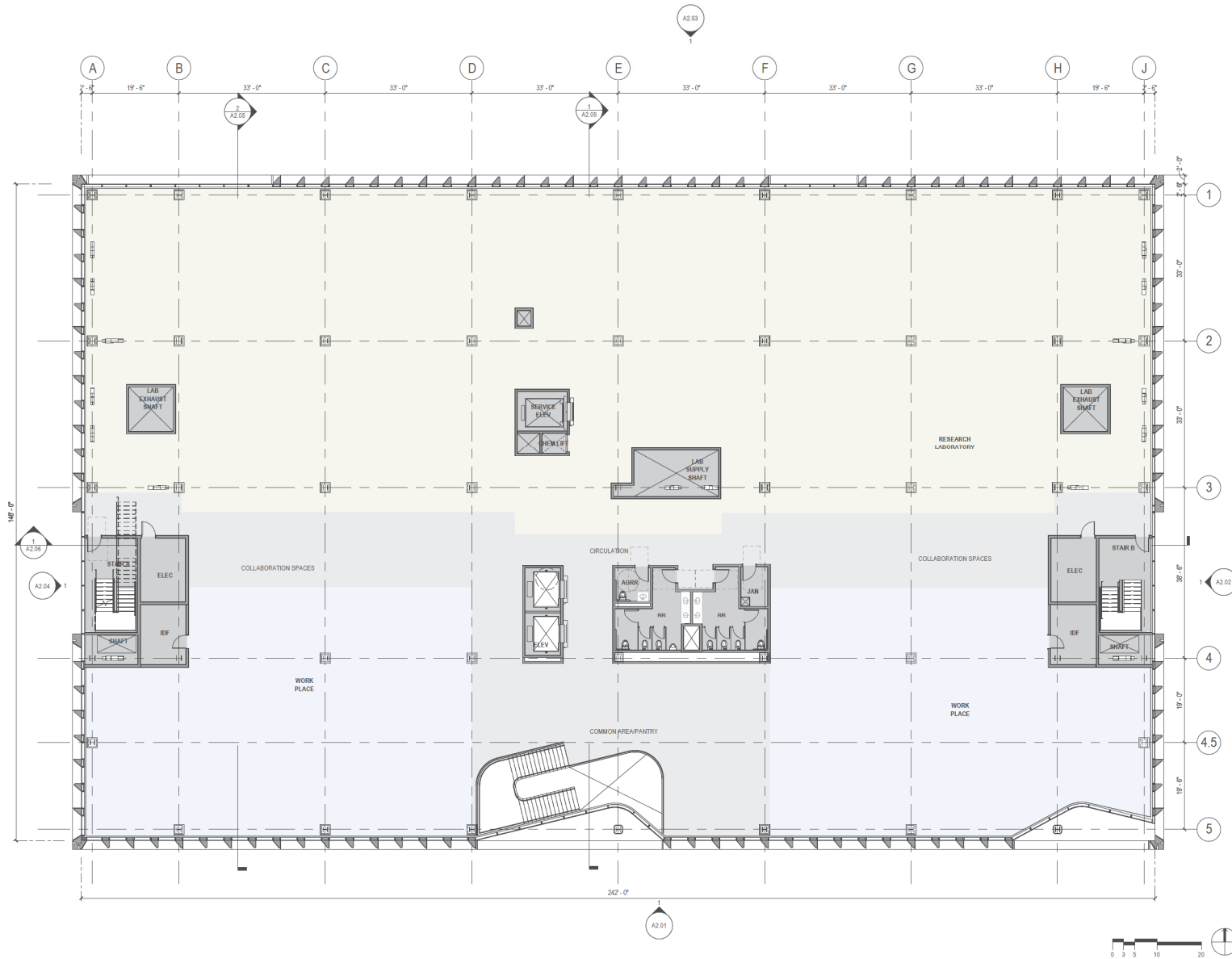
Description
FLOOR PLAN LEVEL 04

KEY PLAN

Scale
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A1.04

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LEGEND

- OFFICE
- LAB
- CORE
- CIRCULATION/
COMMON AREA/PANTRY/
COLLABORATION SPACES

Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
GILEAD NRC 331

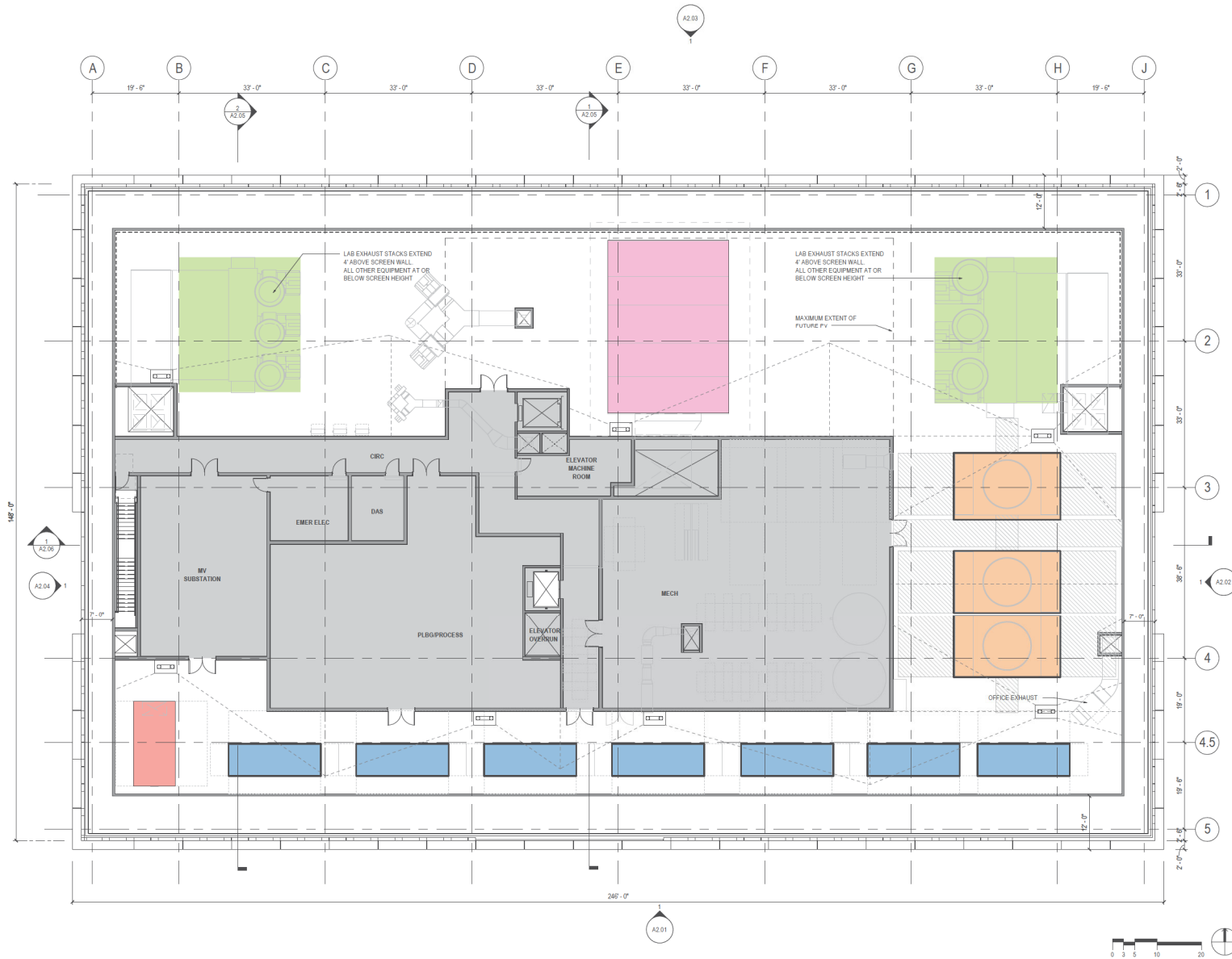
Project Number
001.2407.000

Description
FLOOR PLAN LEVEL 05

Scale
3/32" = 1'-0"

A1.05

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SHEET NOTES

INTERIOR FLOOR PLANS
FOR PLANNING REFERENCE
ONLY.

GILEAD
331 LAKESIDE DRIVE FOSTER CITY, CA
94404

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LIGHTING
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LEGEND

- AIR SOURCE HEAT PUMP
- COOLING TOWER
- LAB EXHAUST STACKS
- LAB AIR HANDLER
- OFFICE AIR HANDLER
- ENCLOSED PENTHOUSE

Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
GILEAD NRC 331

Project Number
001.2407.000

Description
FLOOR PLAN ROOF

Scale
3/32" = 1'-0"

A1.06

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Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
GILEAD NRC 331

Project Number
001.2407.000

Description
ELEVATION SOUTH

Scale
3/32" = 1'-0"

A2.01

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SHEET NOTES

MATERIAL LEGEND

*ALL MATERIALS COMPLY WITH VINTAGE PARK DESIGN GUIDELINES

- INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
- INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH INSULATED WARM GRAY METAL SHADOWBOX
- INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
- FORMED ALUMINUM PANEL WARM WHITE COLOR WITH MICA METALLIC FINISH
- FORMED ALUMINUM PANEL WARM GRAY COLOR WITH SATIN FINISH
- NATURAL-TONED CEMENTITIOUS PANEL CLADDING WITH TEXTURED FINISH
- NATURAL-TONED CEMENTITIOUS PANEL CLADDING WITH TEXTURED FINISH AND CORRUGATED PROFILE

WALL TYPE LEGEND

- WT-04**
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
EXTERIOR FRAMING: FORMED ALUMINUM PANEL WARM WHITE COLOR WITH SATIN FINISH
INTERIOR FRAMING: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT
- WT-08**
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
EXTERIOR FRAMING: FORMED ALUMINUM PANEL WARM WHITE COLOR WITH SATIN FINISH
INTERIOR FRAMING: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT
- WT-02A**
INSET GLAZED WINDOW WALL, VARYING DEPTHS UP TO 10"
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FRAMING: FORMED ALUMINUM PANEL WARM WHITE COLOR WITH SATIN FINISH
CLADDING: NATURAL-TONED CEMENTITIOUS CLADDING WITH TEXTURED FINISH AND CORRUGATED PROFILE

- WT-06**
GLAZED ALUMINUM CURTAIN WALL
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
EXTERIOR FRAMING: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
CLADDING: NATURAL-TONED CEMENTITIOUS CLADDING WITH TEXTURED FINISH AND CORRUGATED PROFILE
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT
- WT-03**
GLAZED ALUMINUM WINDOW WALL
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FRAMING: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
CLADDING: NATURAL-TONED CEMENTITIOUS CLADDING WITH TEXTURED FINISH AND CORRUGATED PROFILE
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT
- WT-04**
GLAZED ALUMINUM CURTAIN WALL
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
EXTERIOR FRAMING: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH

- WT-05**
ROOF TOP MECHANICAL EQUIPMENT SCREEN
METAL PANEL FORMED ALUMINUM PANEL WARM GRAY COLOR WITH SATIN FINISH
- WT-07**
GROUND LEVEL UTILITY SCREEN WALL
METAL PANEL FORMED ALUMINUM PANEL WARM GRAY COLOR WITH SATIN FINISH
- WT-03B**
METAL PANEL SOLID WALL TO MATCH WT-06A
METAL PANEL FORMED ALUMINUM PANEL WARM GRAY COLOR WITH SATIN FINISH

- WT-07**
GLAZED ALUMINUM CURTAIN WALL AT BRIDGE
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
EXTERIOR FRAMING: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
CLADDING: NATURAL-TONED CEMENTITIOUS CLADDING WITH TEXTURED FINISH AND CORRUGATED PROFILE
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT

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Tel 415.348.8273

Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
GILEAD NRC 331

Project Number
001.2407.000

Description
ELEVATION EAST

Scale
3/32" = 1'-0"

A2.02

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SHEET NOTES

MATERIAL LEGEND

*ALL MATERIALS COMPLY WITH VINTAGE PARK DESIGN GUIDELINES

- INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
- INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH INSULATED WARM GRAY METAL SHADOWBOX
- INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
- FORMED ALUMINUM PANEL WARM WHITE COLOR WITH MICA METALLIC FINISH
- FORMED ALUMINUM PANEL WARM GRAY COLOR WITH SATIN FINISH
- NATURAL-TONED CEMENTITIOUS PANEL CLADDING WITH TEXTURED FINISH
- NATURAL-TONED CEMENTITIOUS PANEL CLADDING WITH TEXTURED FINISH AND CORRUGATED PROFILE

WALL TYPE LEGEND

- WT-01**
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FINISH: FORMED ALUMINUM PANEL WARM WHITE COLOR WITH MICA METALLIC FINISH
EXTERIOR FINISH: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT
- WT-02**
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FINISH: FORMED ALUMINUM PANEL WARM WHITE COLOR WITH MICA METALLIC FINISH
EXTERIOR FINISH: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT
- WT-03**
GLAZED ALUMINUM CURTAIN WALL, VARYING DEPTHS UP TO 10"
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FINISH: FORMED ALUMINUM PANEL WARM WHITE COLOR WITH MICA METALLIC FINISH
EXTERIOR FINISH: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT

- WT-04**
GLAZED ALUMINUM CURTAIN WALL
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FINISH: FORMED ALUMINUM PANEL WARM WHITE COLOR WITH MICA METALLIC FINISH
EXTERIOR FINISH: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT
- WT-05**
GLAZED ALUMINUM WINDOW WALL
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FINISH: FORMED ALUMINUM PANEL WARM WHITE COLOR WITH MICA METALLIC FINISH
EXTERIOR FINISH: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT
- WT-06**
GLAZED ALUMINUM CURTAIN WALL
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FINISH: FORMED ALUMINUM PANEL WARM WHITE COLOR WITH MICA METALLIC FINISH
EXTERIOR FINISH: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT

- WT-07**
ROOF TOP MECHANICAL EQUIPMENT SCREEN
METAL PANEL FORMED ALUMINUM PANEL WARM GRAY COLOR WITH SATIN FINISH
- WT-08**
GROUND LEVEL UTILITY SCREEN WALL
METAL PANEL FORMED ALUMINUM PANEL WARM GRAY COLOR WITH SATIN FINISH
- WT-09**
METAL PANEL SOLID WALL TO MATCH WT-06
METAL PANEL FORMED ALUMINUM PANEL WARM GRAY COLOR WITH SATIN FINISH

- WT-10**
GLAZED ALUMINUM CURTAIN WALL AT BRIDGE
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FINISH: FORMED ALUMINUM PANEL WARM WHITE COLOR WITH MICA METALLIC FINISH
EXTERIOR FINISH: EXTERIUS ALUMINUM WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL SHADOWBOX AT DECK HEIGHT

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United States	United States
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Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
GILEAD NRC 331

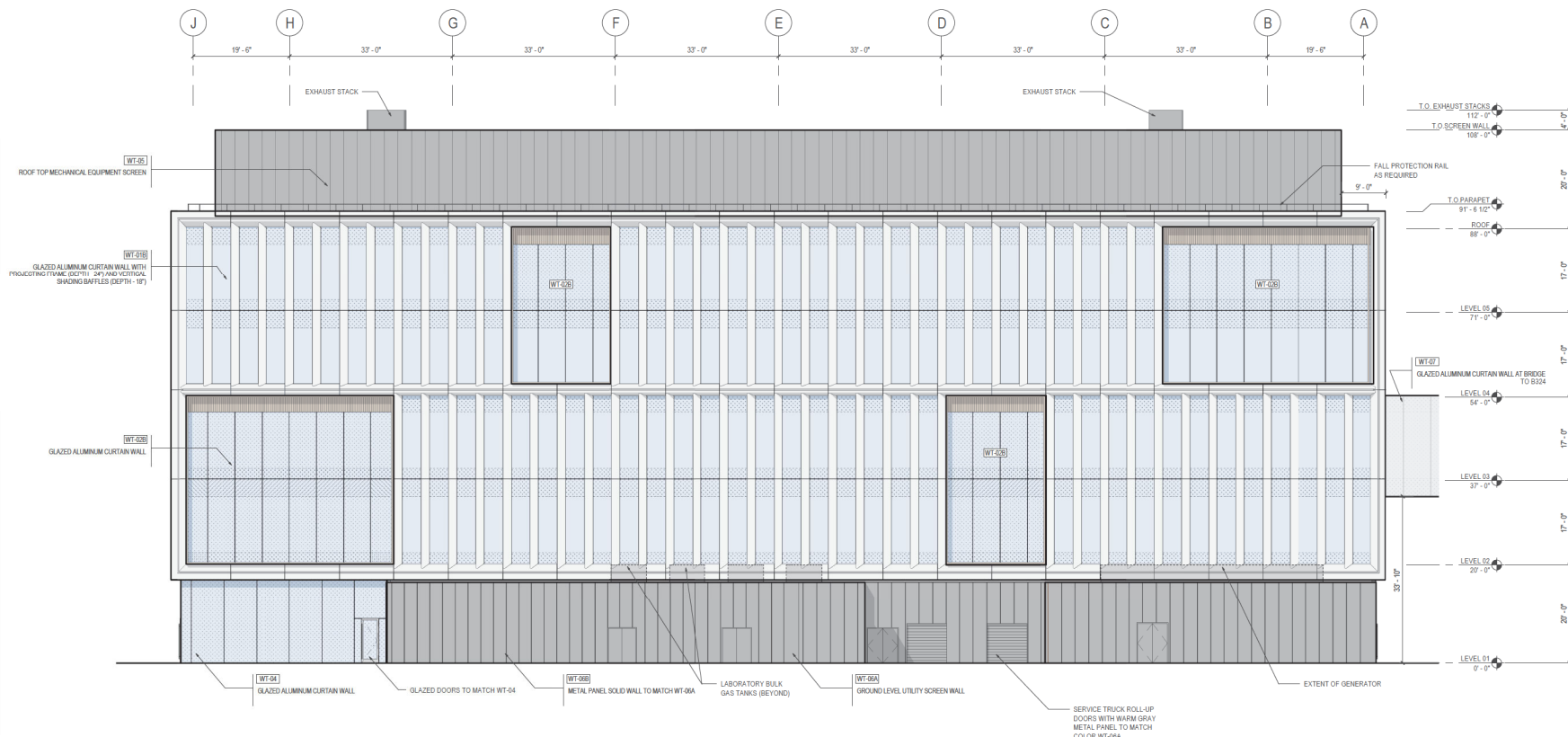
Project Number
001.2407.000

ELEVATION NORTH

Scale
 $3/32" = 1'-0"$



A2.03

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MATERIAL LEGEND

*ALL MATERIALS COMPLY WITH VINTAGE PARK DESIGN GUIDELINES

- | | |
|---|--|
|  | INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE |
|  | INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH INSULATED WARM GRAY METAL SHADOWBOX |
|  | INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FROST |
|  | FORMED ALUMINUM PANEL WARM WHITE COLOR WITH MGCA METALLIC FINISH |
|  | FORMED ALUMINUM PANEL WARM GRAY COLOR WITH SATIN FINISH |
|  | NATURAL-TONED CEMENTITIOUS PANEL CLADDING WITH TEXTURED FINISH |
|  | NATURAL-TONED CEMENTITIOUS PANEL CLADDING WITH TEXTURED FINISH AND CORRUGATED |

WALL TYPE LEGEND

WI-01A

GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")

GLASS: INSULATED GLAZING UNIT WITH INSULATIVE LOW-E COATING ON CLEAR GLASS LITE, EXTERIOR PANEL: FORMED ALUMINUM PANEL, WARM WHITE COLOR WITH MICAMETALLIC FINISH

INTERIOR FRAMING: EXTRUDED ALUMINUM, WARM GRAY COLOR WITH SATIN FINISH

SHOOR BOB: INSULATED WARM GRAY METAL SHOORBOCK AT FLOOR LINE

WT-019

GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME
(DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")

GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRI
EXTERNAL PANEL: FORMED ALUMINUM PANEL, WARMB WHITE COLOR WITH MICA METALLIC FINISH
INTERIOR FRAMING: EXTRUDED ALUMINUM, WARMB GRAY COLOR WITH SATIN FINISH
SHADING BOX: INSULATED WARMB GRAY METAL THROU-ROCK AT DECK HEIGHT

WT-02A
INSET GLAZED WINDOW WALL, VARYING DEPTHS UP TO 10'

GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
INTERIOR FRAMING: ALSS, WARM GRAY COLOR WITH SATIN FINISH
CLADDING: NATURAL-TONED COMPOSITE WOOD CLADDING WITH TEXTURED FINISH AND COBBLE-KNOTTED BRONZ

WT-028
GLAZED ALUMINUM CURTAIN WALL

WT-03
GLAZED ALUMINUM WINDOW WALL

GLAZING: INSULATED GLAZING UNIT WITH NEUTRAL, LOW-E COATING ON CLEAR GLASS LITE
INTERIOR FINISH: EXTRUDED ALUMINUM, WARM GRAY COLOR WITH SATIN FINISH
CLADDING: NATURAL TONED CEMENTITIOUS CLADDING WITH TEXTURED FINISH AND CORRUGATED PROFILE

GLAZED ALUMINUM CURTAIN WALL

GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FROST INTERIOR FINISH; EXTRUDED ALUMINUM, HAZY GRAY COLOR WITH SATIN FINISH.

WT-05
ROOF TOP MECHANICAL EQUIPMENT SCREEN

WT-06A
GROUND LEVEL UTILITY SCREEN WALL

METAL PANEL: FORMED ALUMINUM PANEL, WARM GRAY COLOR WITH SATIN FINISH

WT-000

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WT-07
GLAZED ALUMINUM CURTAIN WALL AT BRIDGE

SHADOW BOX, INSULATED WARM GRAY METAL, SHADOWBOX AT FLOOR LINE.

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Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
GILEAD NRC 331

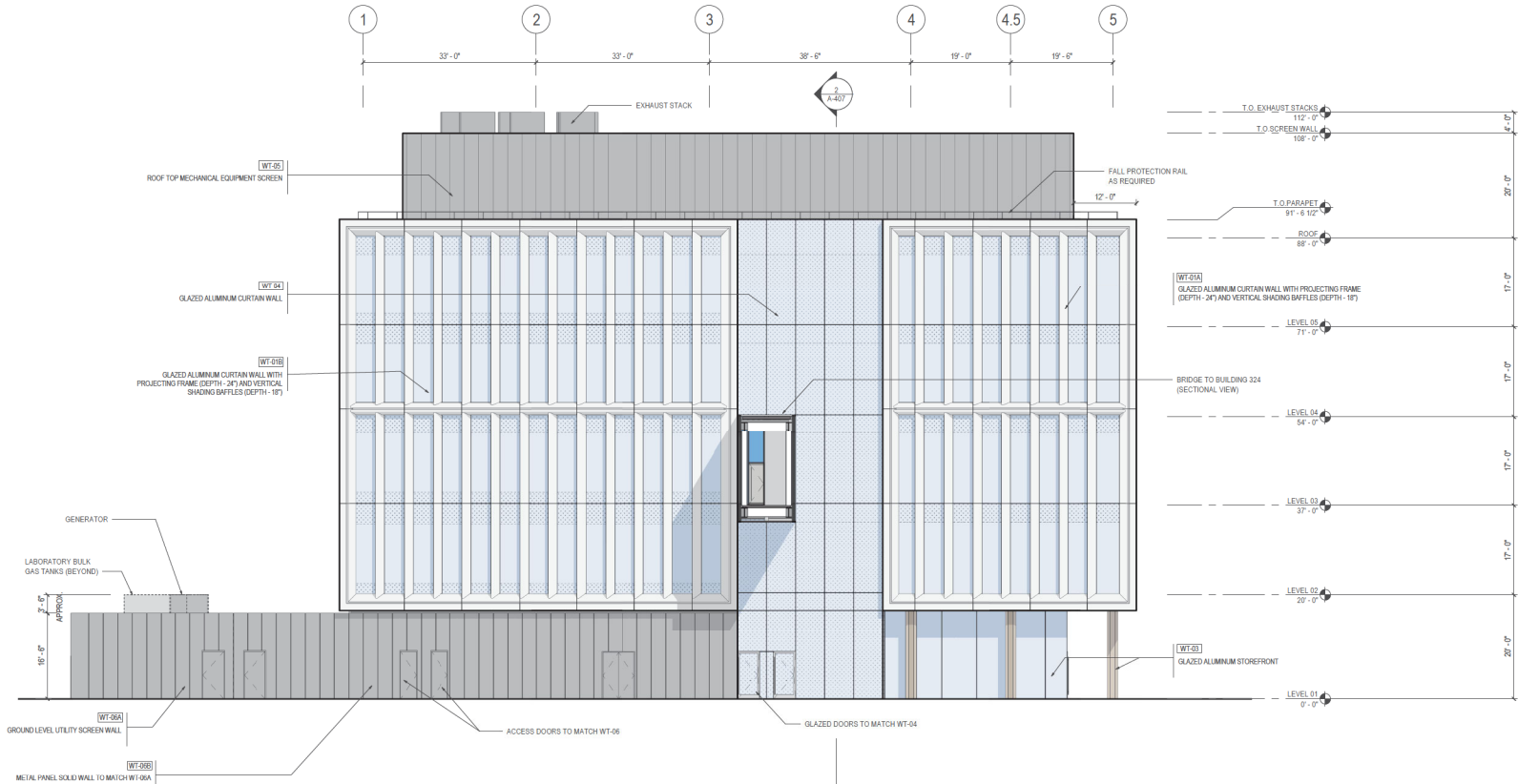
Project Number
001.2407.000

Description
ELEVATION WEST

Scale
3/32" = 1'-0"

A2.04

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SHEET NOTES

MATERIAL LEGEND

*ALL MATERIALS COMPLY WITH VINTAGE PARK DESIGN GUIDELINES

- INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
- INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
- INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
- FORMED ALUMINUM PANEL, WARM WHITE COLOR WITH MICA METALLIC FINISH
- FORMED ALUMINUM PANEL, WARM GRAY COLOR WITH SATIN FINISH
- NATURAL-TONED CEMENTITIOUS PANEL CLADDING WITH TEXTURED FINISH
- NATURAL-TONED CEMENTITIOUS PANEL CLADDING WITH TEXTURED FINISH AND CORRUGATED PROFILE

WALL TYPE LEGEND

- WT-04**
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
EXTERIOR FINISH: FORMED ALUMINUM PANEL, WARM WHITE COLOR WITH MICA METALLIC FINISH
INTERIOR FINISH: EXPOSED ALUMINUM, WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL, SHADOWBOX AT DECK HEIGHT
- WT-01B**
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
EXTERIOR FINISH: FORMED ALUMINUM PANEL, WARM WHITE COLOR WITH MICA METALLIC FINISH
INTERIOR FINISH: EXPOSED ALUMINUM, WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL, SHADOWBOX AT DECK HEIGHT
- WT-06A**
INSET GLAZED WINDOW WALL, VARYING DEPTHS UP TO 10"
- GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FINISH: METAL PANEL, WARM GRAY COLOR WITH SATIN FINISH
CLADDING MATERIAL: NATURAL-TONED CEMENTITIOUS CLADDING WITH TEXTURED FINISH AND CORRUGATED PROFILE

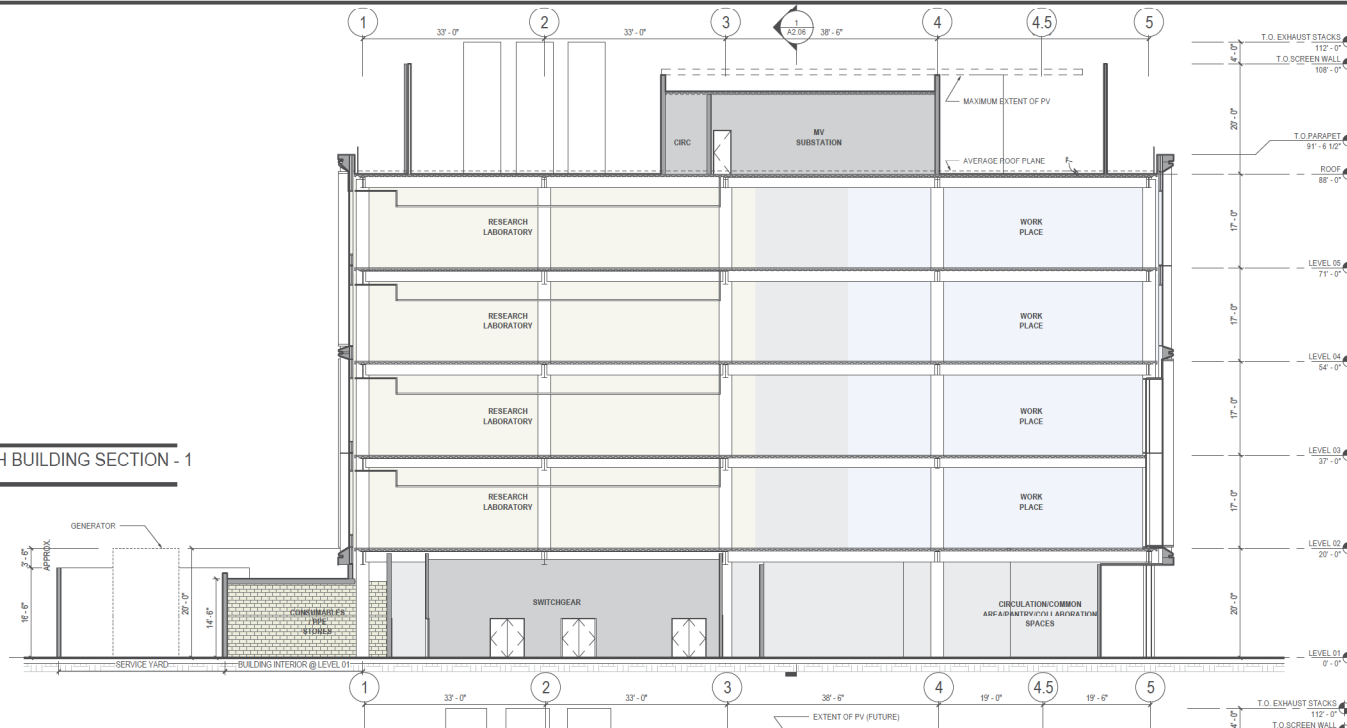
- WT-06B**
GLAZED ALUMINUM CURTAIN WALL
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
EXTERIOR FINISH: FORMED ALUMINUM PANEL, WARM WHITE COLOR WITH MICA METALLIC FINISH
INTERIOR FINISH: EXPOSED ALUMINUM, WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL, SHADOWBOX AT DECK HEIGHT
- WT-01**
GLAZED ALUMINUM WINDOW WALL
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTERIOR FINISH: FORMED ALUMINUM PANEL, WARM WHITE COLOR WITH MICA METALLIC FINISH
INTERIOR FINISH: EXPOSED ALUMINUM, WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL, SHADOWBOX AT DECK HEIGHT
- WT-04**
GLAZED ALUMINUM CURTAIN WALL
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
EXTERIOR FINISH: FORMED ALUMINUM PANEL, WARM WHITE COLOR WITH MICA METALLIC FINISH
INTERIOR FINISH: EXPOSED ALUMINUM, WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL, SHADOWBOX AT DECK HEIGHT

- WT-06**
ROOF TOP MECHANICAL EQUIPMENT SCREEN
METAL PANEL, FORMED ALUMINUM PANEL, WARM GRAY COLOR WITH SATIN FINISH
- WT-06A**
GROUND LEVEL UTILITY SCREEN WALL
METAL PANEL, FORMED ALUMINUM PANEL, WARM GRAY COLOR WITH SATIN FINISH
- WT-06B**
METAL PANEL SOLID WALL TO MATCH WT-06A
METAL PANEL, FORMED ALUMINUM PANEL, WARM GRAY COLOR WITH SATIN FINISH

- WT-01**
GLAZED ALUMINUM CURTAIN WALL AT BRIDGE
GLASS: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT
EXTERIOR FINISH: FORMED ALUMINUM PANEL, WARM WHITE COLOR WITH MICA METALLIC FINISH
INTERIOR FINISH: EXPOSED ALUMINUM, WARM GRAY COLOR WITH SATIN FINISH
SHADOW BOX: INSULATED WARM GRAY METAL, SHADOWBOX AT DECK HEIGHT

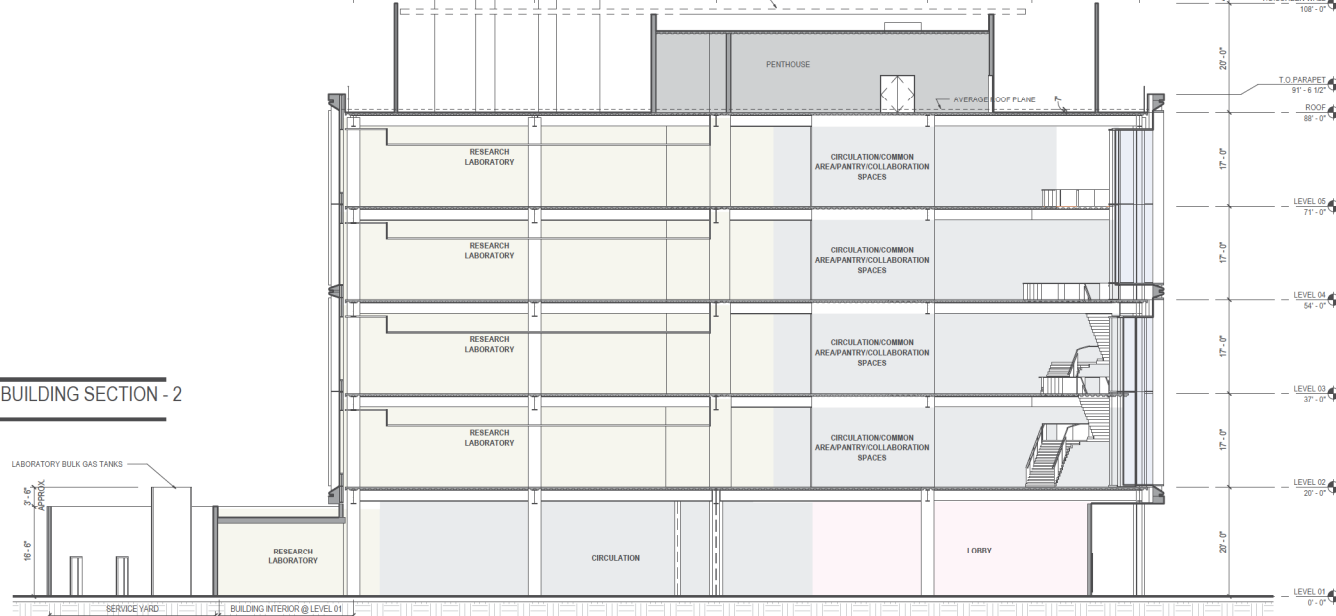
2 NORTH-SOUTH BUILDING SECTION - 1

SCALE: 3/32" = 1'-0"



1 NORTH-SOUTH BUILDING SECTION - 2

SCALE: 3/32" = 1'-0"



SHEET NOTES

LEGEND

- OFFICE
- LAB
- CORE
- CIRCULATION/COMMON AREA/PANTRY/COLLABORATION SPACES

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LIGHTING

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United States
Tel 415.348.8273

Date Description

07.28.2023 USE PERMIT PROJECT # UP2023-0079
09.28.2023 USE PERMIT PROJECT # UP2023-0079

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CONSTRUCTION**

Project Name

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Project Number

001.2407.000

Description

NORTH-SOUTH BUILDING SECTION

Scale

3/32" = 1'-0"

A2.05

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CONSTRUCTION**

Project Name
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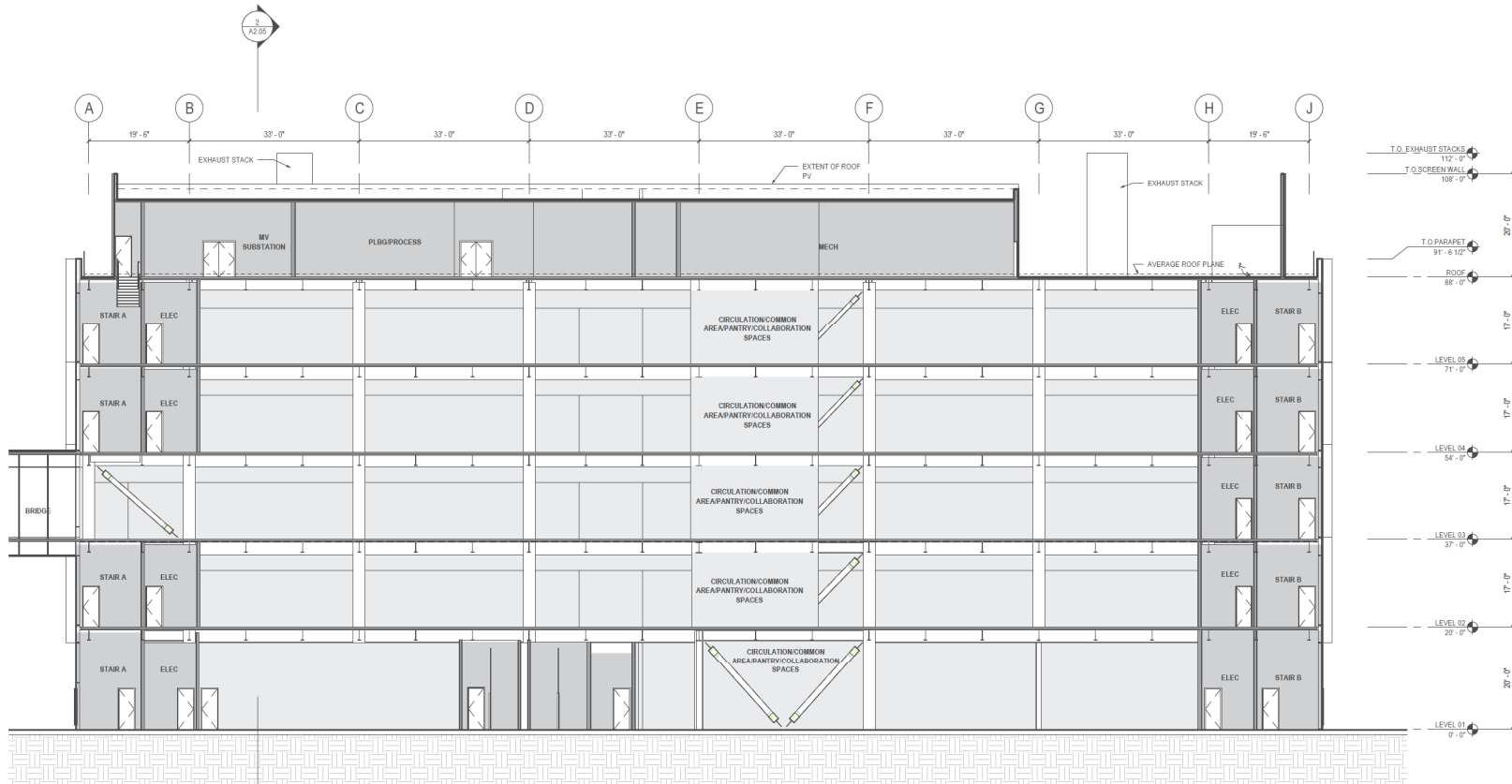
Project Number
001.2407.000

Description
EAST-WEST BUILDING SECTION

Scale
3/32" = 1'-0"

A2.06

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SHEET NOTES

LEGEND

- OFFICE
- LAB
- CORE
- CIRCULATION/
COMMON AREA/PANTRY/
COLLABORATION SPACES



1 SOUTH ENTRANCE - APPROACH FROM LANDSCAPE QUAD

SHEET NOTES

WALL TYPE LEGEND

[WT-02A]
INSET GLAZED WINDOW WALL, VARYING DEPTHS UP TO 10"
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLAZED INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTENSION PANEL: FORMED ALUMINUM PANEL, ANODIZED CLEAR FINISH, 1/2" THICK
SHADOW SIDE: INSULATED WARM GRAY METAL, SHADOWBOX AT FLOORLINE

[WT-01A]
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLAZED INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTENSION PANEL: FORMED ALUMINUM PANEL, ANODIZED CLEAR FINISH, 1/2" THICK
SHADOW SIDE: INSULATED WARM GRAY METAL, SHADOWBOX AT FLOORLINE

[WT-01B]
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLAZED INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTENSION PANEL: FORMED ALUMINUM PANEL, ANODIZED CLEAR FINISH, 1/2" THICK
SHADOW SIDE: INSULATED WARM GRAY METAL, SHADOWBOX AT FLOORLINE

[WT-02B]
GLAZED ALUMINUM CURTAIN WALL
GLAZED INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTENSION PANEL: FORMED ALUMINUM PANEL, ANODIZED CLEAR FINISH, 1/2" THICK
SHADOW SIDE: INSULATED WARM GRAY METAL, SHADOWBOX AT FLOORLINE

[WT-03]
GLAZED ALUMINUM WINDOW WALL
GLAZED INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTENSION PANEL: FORMED ALUMINUM PANEL, ANODIZED CLEAR FINISH, 1/2" THICK
SHADOW SIDE: INSULATED WARM GRAY METAL, SHADOWBOX AT FLOORLINE

[WT-04]
INSET GLAZED WINDOW WALL, VARYING DEPTHS UP TO 10"
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLAZED INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE
EXTENSION PANEL: FORMED ALUMINUM PANEL, ANODIZED CLEAR FINISH, 1/2" THICK
SHADOW SIDE: INSULATED WARM GRAY METAL, SHADOWBOX AT FLOORLINE

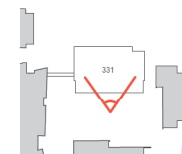
[WT-05]
ROOF TOP MECHANICAL EQUIPMENT SCREEN
METAL PANEL, FORMED ALUMINUM PANEL, WARM GRAY COLOR WITH SATIN FINISH

[WT-06A]
GROUND LEVEL UTILITY SCREEN WALL
METAL PANEL, FORMED ALUMINUM PANEL, WARM GRAY COLOR WITH SATIN FINISH

[WT-06B]
METAL PANEL SOLID WALL TO MATCH WT-06A
METAL PANEL, FORMED ALUMINUM PANEL, WARM GRAY COLOR WITH SATIN FINISH

[WT-07]
GLAZED ALUMINUM CURTAIN WALL AT BRIDGE
GLAZED INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRET
EXTENSION PANEL: FORMED ALUMINUM PANEL, ANODIZED CLEAR FINISH, 1/2" THICK
SHADOW SIDE: INSULATED WARM GRAY METAL, SHADOWBOX AT FLOORLINE

KEY PLAN



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Date Description

07.28.2023 USE PERMIT PROJECT # UP2023-0079
09.28.2023 USE PERMIT PROJECT # UP2023-0079

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Project Name

GILEAD NRC 331

Project Number

001.2407.000

Description

SOUTH ENTRANCE

Scale

As indicated

A2.07

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BUILDING 331

1 NORTH ENTRANCE

SHEET NOTES

WALL TYPE LEGEND

[WT-035]
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLAZE: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC PRT
EXTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
INTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
SHADOW BOX: INSULATED ALUMINUM PANEL, SHADOWBOX AT DECK HEIGHT

[WT-036]
GLAZED ALUMINUM CURTAIN WALL WITH PROJECTING FRAME (DEPTH - 24") AND VERTICAL SHADING BAFFLES (DEPTH - 18")
GLAZE: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC PRT
EXTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
INTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
SHADOW BOX: INSULATED ALUMINUM PANEL, SHADOWBOX AT DECK HEIGHT

[WT-04]
GLAZED ALUMINUM CURTAIN WALL, VARYING DEPTHS UP TO 10"
GLAZE: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC PRT
EXTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
INTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
SHADOW BOX: INSULATED ALUMINUM PANEL, SHADOWBOX AT DECK HEIGHT

[WT-05]
GLAZED ALUMINUM CURTAIN WALL
GLAZE: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC PRT
EXTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
INTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
SHADOW BOX: INSULATED ALUMINUM PANEL, SHADOWBOX AT DECK HEIGHT

[WT-06]
GLAZED ALUMINUM WINDOW WALL
GLAZE: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC PRT
EXTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
INTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
SHADOW BOX: INSULATED ALUMINUM PANEL, SHADOWBOX AT DECK HEIGHT

[WT-060]
GLAZED ALUMINUM CURTAIN WALL
GLAZE: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC PRT
EXTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
INTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
SHADOW BOX: INSULATED ALUMINUM PANEL, SHADOWBOX AT DECK HEIGHT

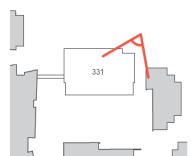
[WT-05]
ROOF TOP MECHANICAL EQUIPMENT SCREEN
METAL PANEL: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS

[WT-06A]
GROUND LEVEL UTILITY SCREEN WALL
METAL PANEL: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS

[WT-060]
METAL PANEL SOLID WALL TO MATCH WT-06A
METAL PANEL: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS

[WT-07]
GLAZED ALUMINUM CURTAIN WALL AT BRIDGE
GLAZE: INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC PRT
EXTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
INTERNAL FRAME: FORMED ALUMINUM PANEL, VARIOUS FINISHES TO MATCH ADJACENT WALLS
SHADOW BOX: INSULATED ALUMINUM PANEL, SHADOWBOX AT DECK HEIGHT

KEY PLAN



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Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

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Project Name
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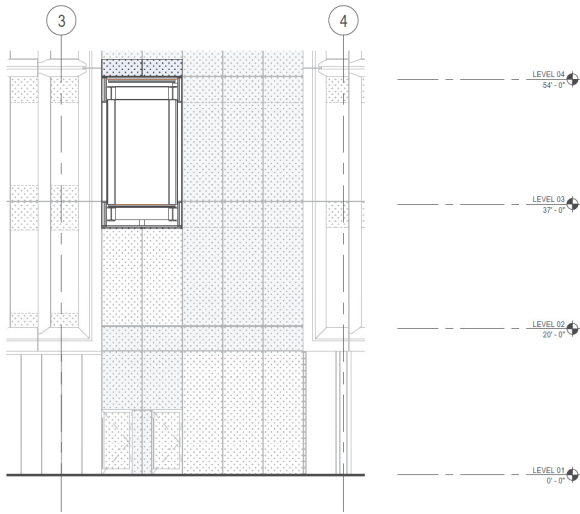
Project Number
001.2407.000

Description
NORTH ENTRANCE

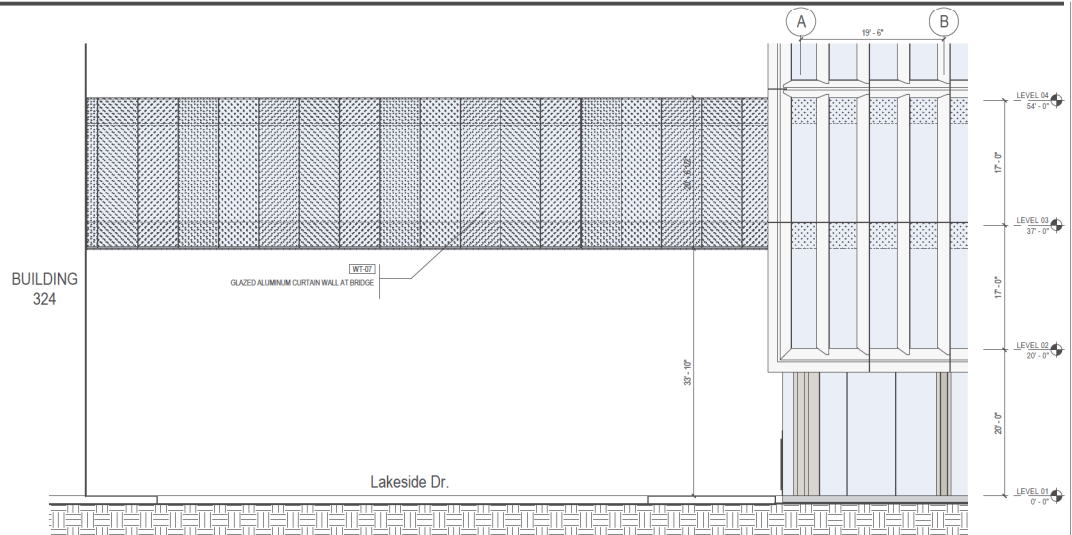
Scale
As indicated

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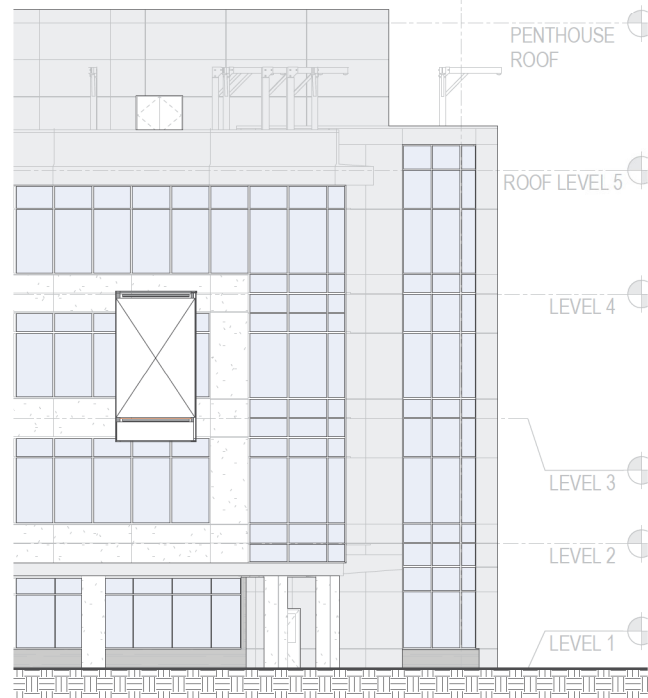
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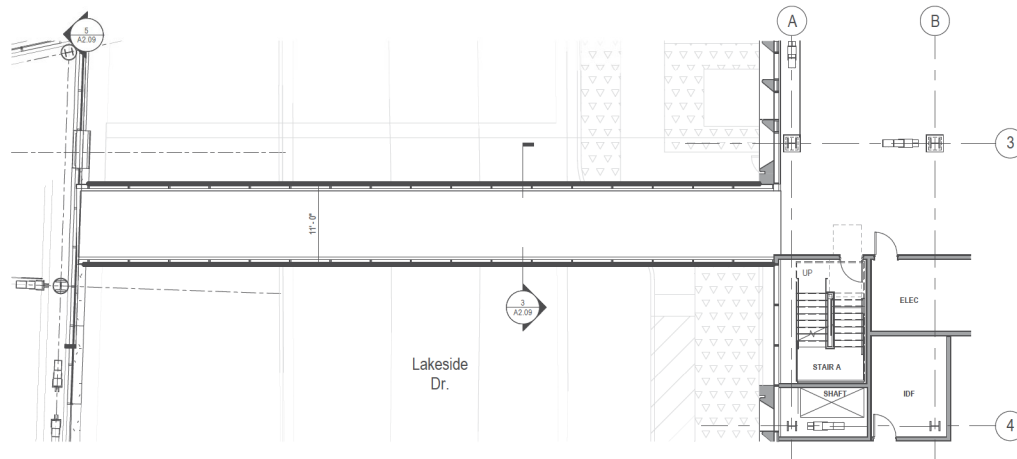
3 BRIDGE SECTION - LOOKING EAST TO NRC
SCALE: 1/8" = 1'-0"



2 BRIDGE ELEVATION - LOOKING NORTH
SCALE: 1/8" = 1'-0"



5 BUILDING 324 ELEVATION - BRIDGE CONNECTION
SCALE: 1/8" = 1'-0"



1 BRIDGE PLAN - LEVEL 03
SCALE: 1/8" = 1'-0"

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Project Name
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Project Number
001.2407.000

Description
BRIDGE

Scale
1/8" = 1'-0"

A2.09

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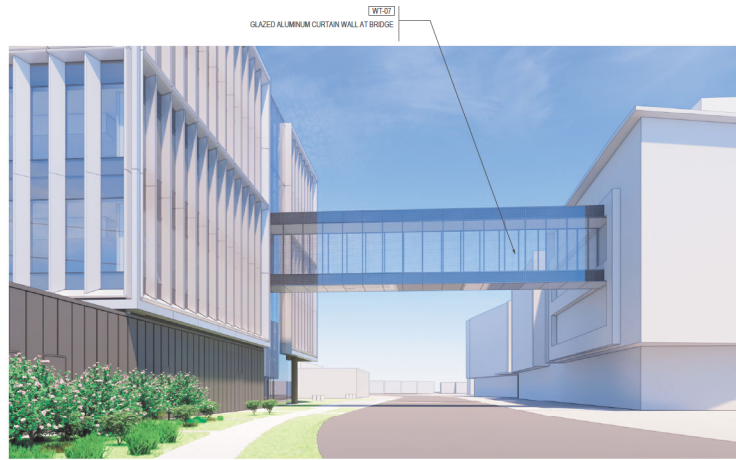
Project Number
001.2407.000

Description
BRIDGE RENDERINGS

Scale
As indicated

A2.09A

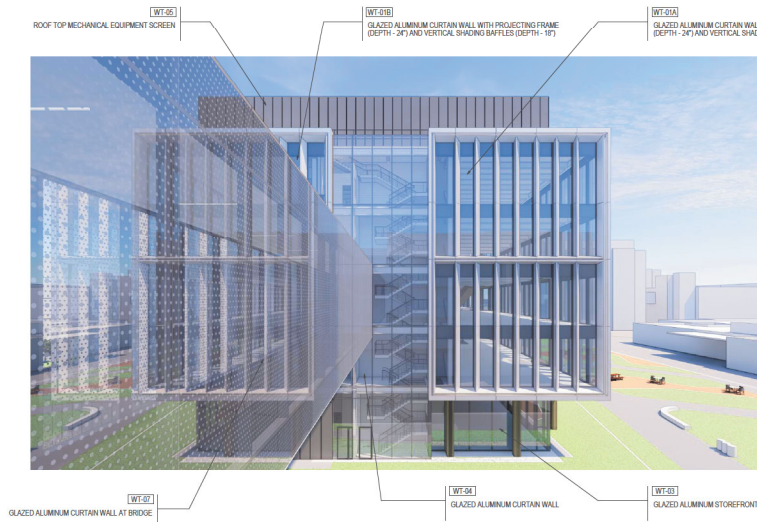
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1 - RENDERING OF THE BRIDGE - LOOKING SOUTH ON LAKESIDE DR.



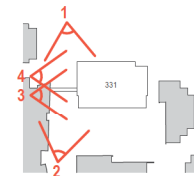
2 - RENDERING OF THE BRIDGE - LOOKING NORTH ON LAKESIDE DR.

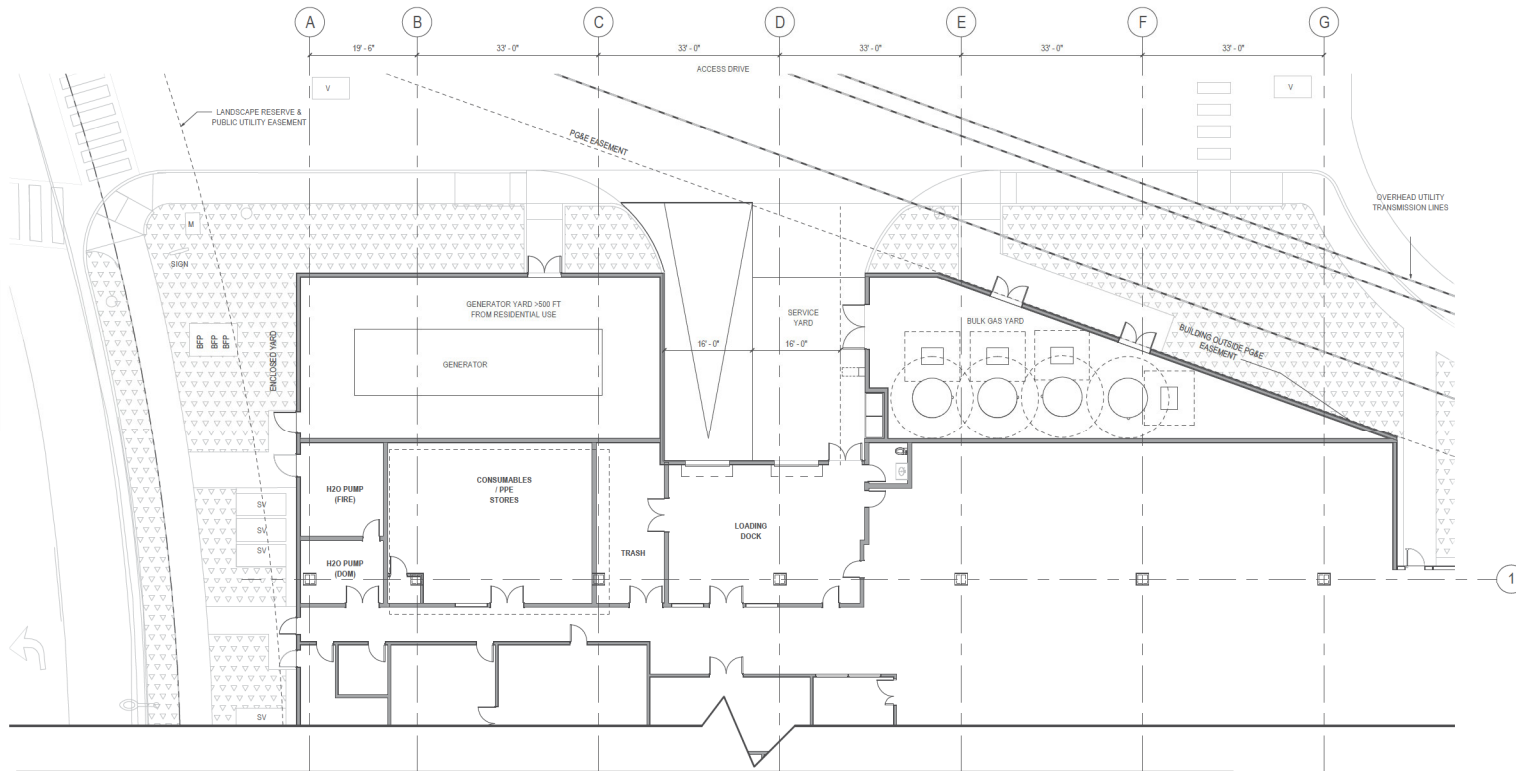


3 - RENDERING OF THE BRIDGE - LOOKING FROM B324



4 - RENDERING OF THE BRIDGE - LOOKING FROM B324





1 LEVEL 01 - SERVICE AREA - USE PERMIT
SCALE: 3/32" = 1'-0"



2 SERVICE AREA - USE PERMIT

SHEET NOTES

GENERAL NOTES

- V UTILITY VAULT, AT GRADE
- S SWITCH, ABOVE GRADE
- SV SETTLEMENT VAULT, AT GRADE
- T TRANSFORMER, ABOVE GRADE
- BFP BACKFLOW PREVENTER, ABOVE GRADE
- EVA EMERGENCY VEHICLE ACCESS
- TS TRANSITION SWITCH, ABOVE GRADE
- M UTILITY METER, FLUSH WITH GRADE
- ADA PARKING STALL - ACCESSIBLE
- EP PARKING STALL - EXPECTANT PERSON
- SVC PARKING STALL - SERVICE / MAINTENANCE
- ▲ BUILDING ENTRANCE / EXIT DOOR

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Project Name
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Project Number
001.2407.000

Description
SERVICE AREA

Scale
As indicated

A2.10

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Project Number
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Description
RENDERING AERIAL

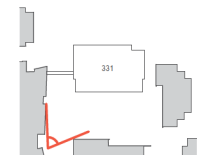
Scale
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A5.01

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1 AERIAL VIEW - LOOKING FROM SOUTH



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Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name:
GILEAD NRC 331

Project Number:
001.2407.000

Description:
RENDERING AERIAL 2

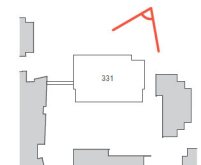
Scale:
As indicated

A5.02

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1 AERIAL VIEW - LOOKING FROM NORTH



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Tel: 415.348.8273

Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

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**NOT FOR
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Project Name:
GILEAD NRC 331

Project Number:
001.2407.000

Description:
RENDERING SOUTH

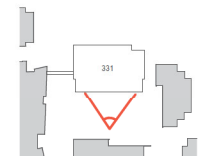
Scale:
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1 SOUTH ELEVATIONAL VIEW



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Project Name:
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Project Number:
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Description:
RENDERING SOUTH WEST

Scale:
As indicated

A5.04

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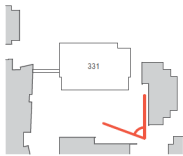


1 SOUTH WEST VIEW





1 SOUTH EAST VIEW



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Project Name
GILEAD NRC 331

Project Number
001.2407.000

Description
RENDERING SOUTH EAST

Scale
As indicated

A5.05



1 NORTH EAST VIEW

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CONSTRUCTION**

Project Name
GILEAD NRC 331

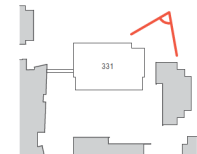
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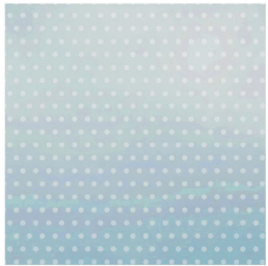
Description
RENDERING NORTH EAST

Scale
As indicated

A5.06

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① INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS LITE WITH CERAMIC FRIT



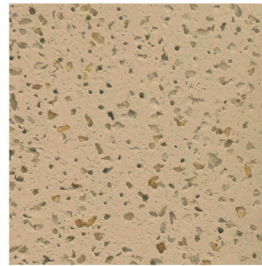
② INSULATED GLAZING UNIT WITH NEUTRAL LOW-E COATING ON CLEAR GLASS



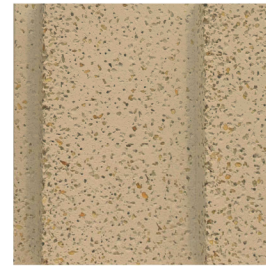
③ FORMED ALUMINUM PANEL, WARM WHITE COLOR WITH MICA METALLIC FINISH



④ FORMED ALUMINUM PANEL, WARM GRAY COLOR WITH SATIN FINISH



⑤ EARTH TONED CLADDING WITH TEXTURED FINISH



⑥ EARTH TONED CLADDING WITH TEXTURED FINISH AND CORRUGATED PROFILE



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Date	Description
09.28.2023	USE PERMIT PROJECT # UP2023-0079

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Project Name:
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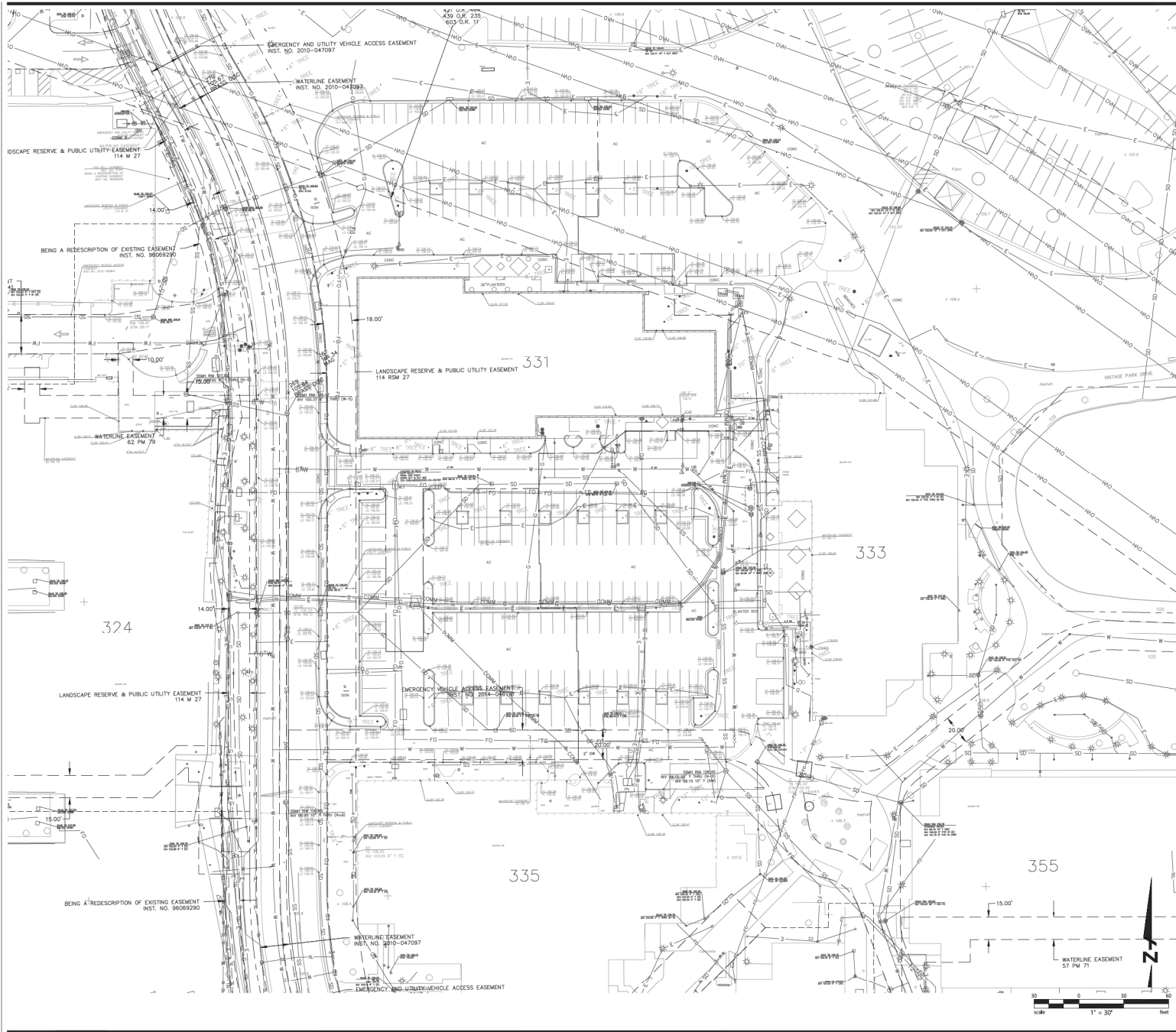
Project Number:
001.2407.000

Description:
MATERIAL PALETTE

Scale

A5.07

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SHEET NOTES

SYMBOLS & LEGEND

EXISTING		BENCHMARK
+	+	BENCHMARK
+	+	BLOW OFF
+	+	VALVE
+	+	FIRE HYDRANT
+	+	POST INDICATOR VALVE
+	+	RISER
+	+	SGN
+	+	SET LITE
+	+	STREET LITE
+	+	BUILDING OVERHANG
+	+	GRADE BREAK
+	+	FENCE
+	+	OVERHEAD UTILITY LINE

ABBREVIATIONS

AC	ASPHALT CONCRETE
BFP	BACKFLOW PREVENTOR
BLRD	BOLLARD
BM	BENCHMARK
BTM	BOTTOM
CB	CATCH BASIN
CLDR	CENTERLINE DOOR
CO	CLEAN OUT
CONC	CONCRETE
DI	DROP INLET
DIA	DIAMETER
RD	ROOF DRAIN
EL	ELECTRIC
EB	ELECTRIC BOX
ELEV	ELEVATION
FL	SURFACE FLOWLINE
FO	FIBER OPTIC
G	GAS
GI	GRATE INLET
GMTR	GAS METER
HV	HIGH VOLTAGE
INV	BOTTOM INSIDE OF PIPE
IR	IRRIGATION
LG	LIP OF GUTTER
MH	MANHOLE
OVH	OVERHEAD UTILITY LINE
SD	STORM DRAIN
SDCO	STORM DRAIN CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SLR	STREET LIGHT BOX
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT
SSMH	SANITARY SEWER MANHOLE
TB	TOP OF BOX
TC	TOP FACE OF CURB
TG	TOP OF GRATE
TEL	TELECOMMUNICATION LINE
TRAN	TRANSFORMER
TWR	TOWER
UB	UTILITY BOX
VLT	VAULT
W	WATER
WB	WATER BOX
WM	WATER METER

LEGEND

TOPOGRAPHIC NOTES

UNAUTHORIZED CHANGES & USES: THE PROFESSIONAL PREPARING THIS MAP WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THIS MAP. CHANGES TO THIS MAP MUST BE REQUESTED IN WRITING AND MUST BE APPROVED BY THE PROFESSIONAL.

THE LOCATIONS OF EXISTING UNDERGROUND FACILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND ARE BASED ON OBSERVED TOPOGRAPHIC SURFACE FEATURES AND AVAILABLE INFORMATION. THE PROFESSIONAL PREPARING THIS MAP ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THESE FACILITIES OR FOR THE INADVERTENT OMISSION OF RELATED INFORMATION.

TOPOGRAPHIC INFORMATION SHOWN HEREON WAS BASED A FIELD SURVEY CONDUCTED BY BKT ENGINEERS ON 02/11/23.

TREE DIAMETERS ARE MEASURED AT CHEST HEIGHT (48"). DIAPHRAGM DIAMETERS AND TREE SPECIES ARE APPROXIMATE ONLY AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.

BASES OF BEARINGS: THE BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, CC83, ZONE 3, EPOCH 2017.50. IN ACCORDANCE WITH CALIFORNIA PUBLIC RESOURCES CODE SECTIONS 8801-8819; SAID COORDINATES ARE BASED LOCALLY UPON FIELD-OBSERVED TIES RELATIVE TO CALIFORNIA SPATIAL REFERENCE NETWORK STATION P178. DISTANCES ARE GRID BASED, DIVIDE BY A COMBINED SCALE FACTOR OF 0.999963435 TO OBTAIN GROUND DISTANCES. VALUES SHOWN BELOW IN THE TABLE ARE IN FTR 2014.

KEY PLAN

PROPERTY	EXISTING	PROPOSED	ADJACENT
100' 0" 100' 0" 100' 0"	100' 0" 100' 0" 100' 0"	100' 0" 100' 0" 100' 0"	100' 0" 100' 0" 100' 0"

THE BEARINGS AND DISTANCES DO NOT REFLECT A FIELD SURVEY AND DO NOT CONSTITUTE A FORMAL BOUNDARY DETERMINATION.

BENCHMARK: THE CITY OF FOSTER CITY BENCHMARK #116 (RM10) BEING A REBAR P.D. SET IN THE CONCRETE PLING OF PG&E TOWER S-13 LOCATED ON THE SOUTHEASTERNLY SIDE OF AN EXISTING LAGOON, APPROXIMATELY 170FT. WESTERLY OF VINTAGE PARK DRIVE.

ELEVATION = 106.27' (NAVD83 + 100')



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CIVIL ENGINEER BKT 4670 Willow Road, Suite 250 Pleasanton, CA 94588 United States Tel 925.366.7700	MEP ENGINEER Burr Haggard 77 Geary St, Suite 640 San Francisco, CA 94108 United States Tel 310.845.8832
FIRE ENGINEER Holmes 228 Montgomery Street, Suite 1250 San Francisco, CA 94104 United States Tel 925.366.7700	LIGHTING H&B 785 Market St, Suite 800 San Francisco, CA 94103 United States Tel 415.363.8273

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Project Name
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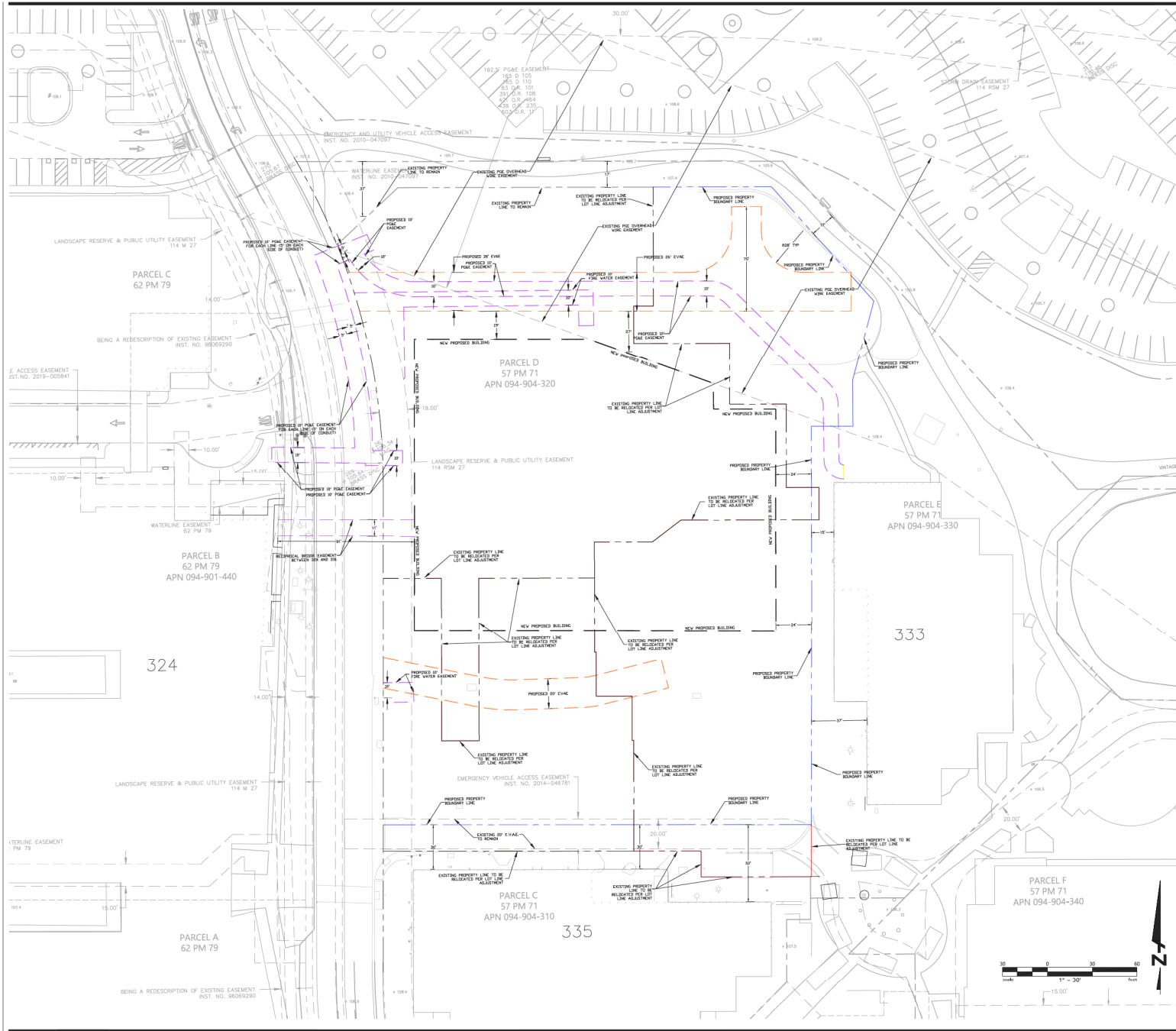
Project Number
001.2407.000

Description
EXISTING CONDITIONS

Scale AS SHOWN

C1.01

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SHEET NOTES

LEGEND

- EXISTING PROPERTY LINE TO BE REMOVED
- EXISTING PROPERTY LINE TO REMAIN
- PROPOSED PROPERTY BOUNDARY LINE
- EXISTING EASEMENT (SEE NOTES FOR REMOVAL OR TO BE RETAINED)
- PROPOSED EASEMENT LINE
- PROPOSED EAVE EASEMENT

LEGEND

1. EASEMENT FOR UNDERGROUND COMMUNICATION FACILITIES IN UNDER AND UPON STRIPS OF LAND 10 FT. WIDE (INCLUDING INGRESS/EGRESS) IN FAVOR OF PAC-BELL, INST. NO. 8008020; UNABLE TO PLOT FROM RECORD INFORMATION.
2. LOT LINE ADJUSTMENT SHOWN FOR REFERENCE ONLY, COMPLETE LOT LINE ADJUSTMENT PLAN SHALL BE SUBMITTED AS SEPARATE PACKAGE

KEY PLAN



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Project Number

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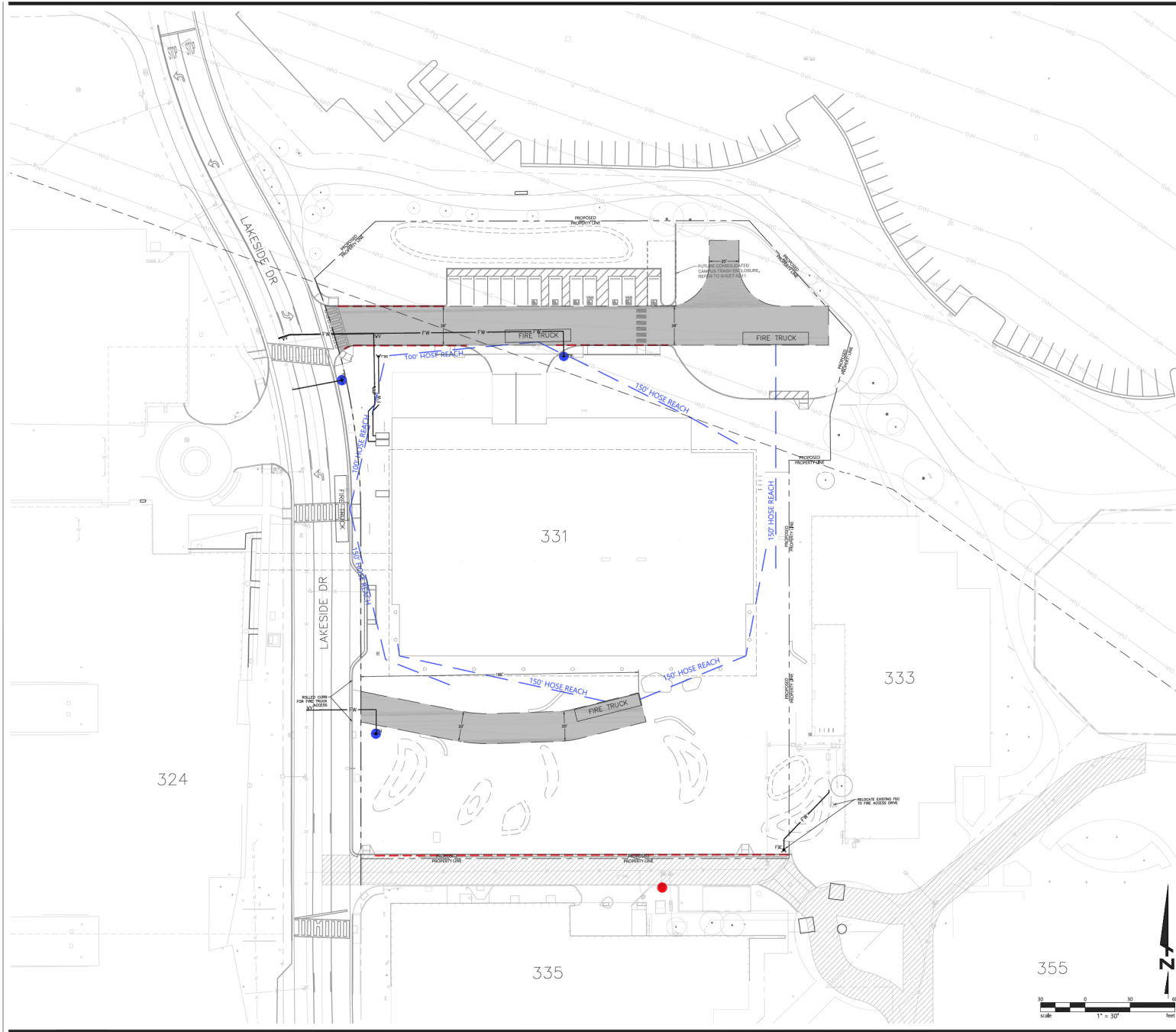
Description

PARCELIZATION
PLAN

Scale

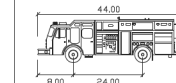
C1.03

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SHEET NOTES

LEGEND	
	FIRE LANE STRIPING
	FIRE HOSE REACH
	FIRE TRUCK APPROX. SIZE
	FIRE WATER
	FIRE DEPARTMENT CONNECTION
	NEW FIRE HYDRANT
	EXISTING FIRE HYDRANT
	WATER VALVE
	DOUBLE CHECK BACKFLOW PREVENTER
	SETTLEMENT VAULT
	PROPOSED EAVE
	EXISTING EAVE



Pumper Fire Truck

Width	8.00
Track	8.00
Lock to Lock Time	6.0
Steering Angle	37.8

LEGEND

- FIRE APPARATUS ACCESS ROADS AND INFRASTRUCTURE FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION, EXCEPT WHERE APPROVED ALTERNATIVE METHODS OF PROTECTION ARE PROVIDED.
- CURBS INDICATED AS FIRE LANE STRIPING WILL INCLUDE "NO PARKING - FIRE LANE" PER CVC S. 22500.
- FIRE WATER PIPE SHALL BE FULLY RESTRAINED.
- MAINTAIN EAVE CLEAR THROUGHOUT CONSTRUCTION.

KEY PLAN



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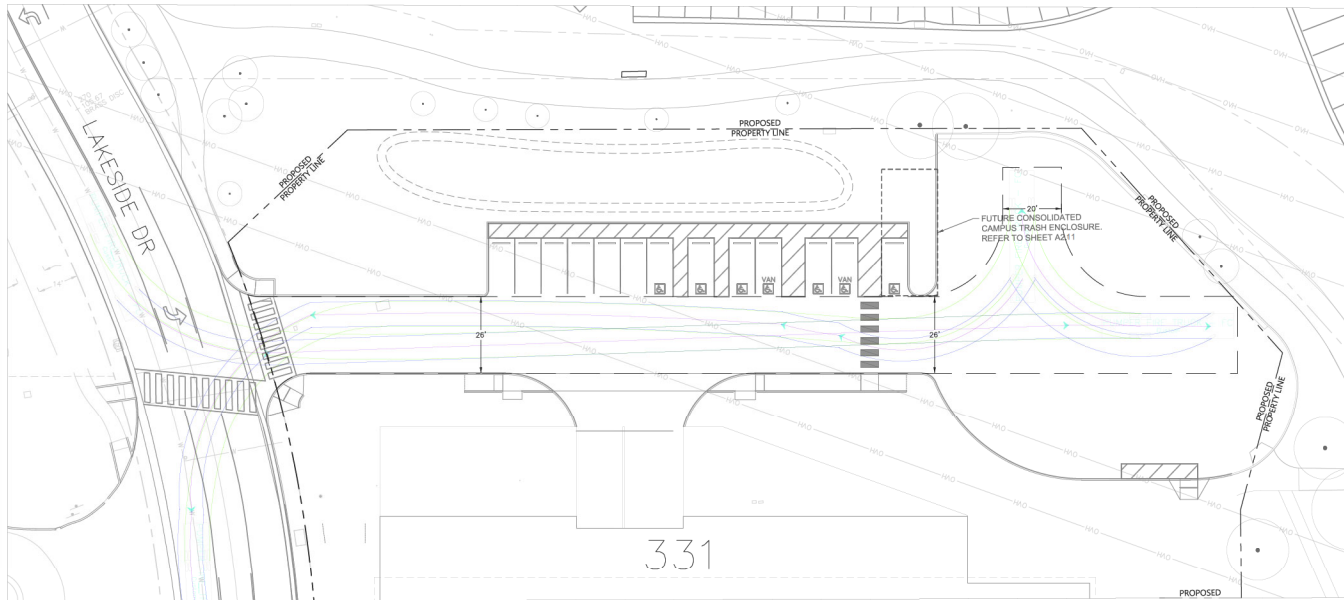
Project Number
001.2407.000

Description
FIRE ACCESS PLAN

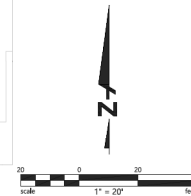
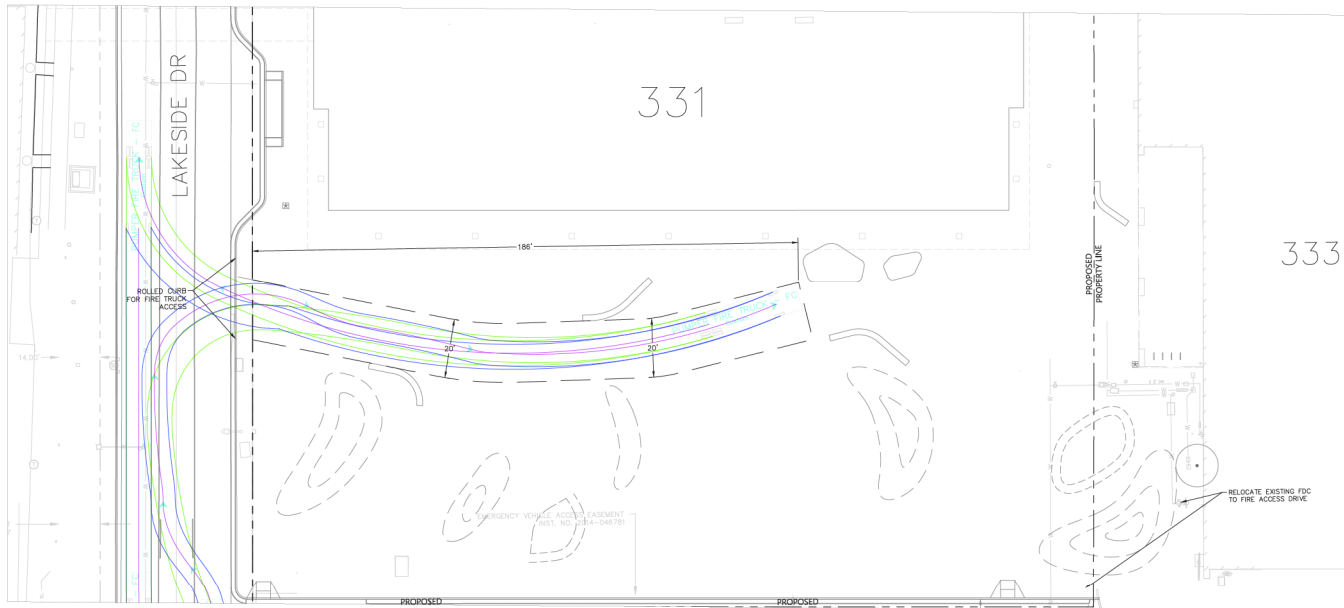
Scale
AS-SHOWN

C3.03

FIRE TRUCK TURN - NORTH



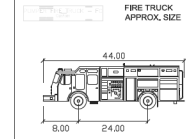
FIRE TRUCK TURN - SOUTH



SHEET NOTES

LEGEND

- TRUCK CENTERLINE
- TRUCK FRONT TIRES
- TRUCK REAR TIRES



Pumper Fire Truck

	Feet
Width	8.00
Track	8.50
Lock to Lock Time	6.0
Steering Angle	37.8

LEGEND

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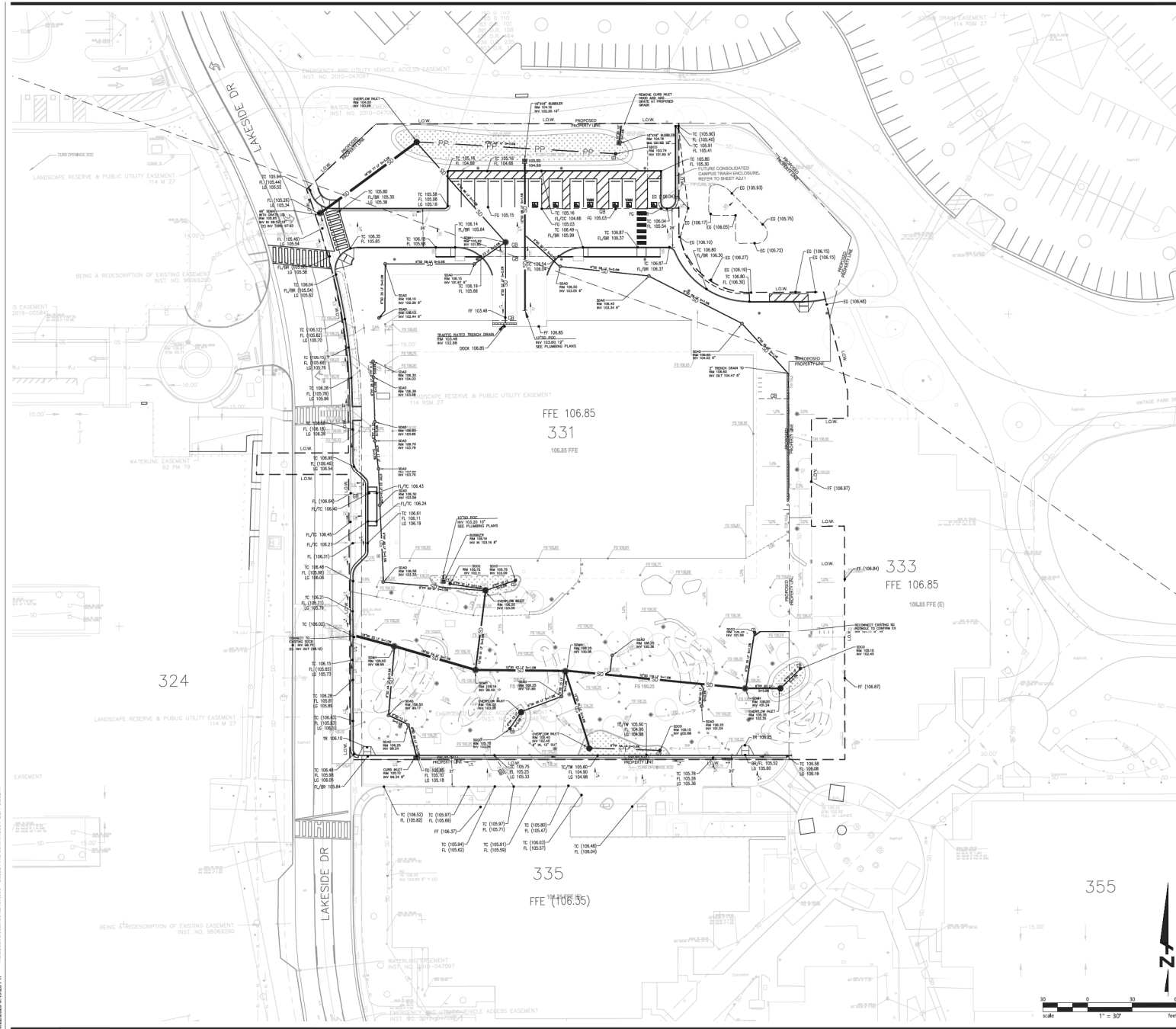
Project Number
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Description
FIRE TRUCK TURNS

Scale AS-SHOWN

C3.04

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SHEET NOTES

LEGEND

SYMBOL	DESCRIPTION
---	LINE OF WORK
---	GRADE CALL-OUT
(107.20)	EXISTING GRADE ELEVATION/CONFORM
---	SLOPE/DIRECTION
---	GRADE BREAK
---	CONFORM

ABBREVIATIONS

TC	TOP OF CURB
BC	BOTTOM OF CURB
LG	LOWERING
LG	LOCAL GRADE
CC	FINISHED FLOOR
CC	CURB CUT
FG	EXISTING GRADE
FG	FINISHED GRADE
SW	BACK OF WALL
TOW	TOP OF WALL
SBW	BOTTOM OF WALL
BR	BOTTOM OF RAMP
TR	TOP OF RAMP

LEGEND

- 1.3 ACCESSIBLE PATHS OF TRAVEL SHALL BE STABLE, FIRM AND SLIP RESISTANT IN CONFORMANCE WITH CBC 11B-302.1
- 2.3 ACCESSIBLE PATHS SHALL BE NOT MORE THAN 2.0% SLOPE AND/OR 5.0% IN THE PATH OF TRAVEL
- 3.3 LANDSCAPE GRADES SHOWN FOR REFERENCE ONLY. REFER TO LANDSCAPE GRADING SHEET FOR DETAILS

KEY PLAN



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07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name

GILEAD NRC 331

Project Number

001.2407.000

Description

GRADING AND
DRAINAGE PLAN

Scale AS-SHOWN

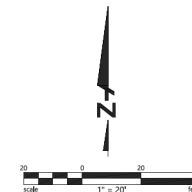
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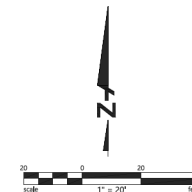
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GENERAL NOTES

- NOTES BELOW ARE NOT INTENDED TO REPLACE SPECIFICATIONS. SEE SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES.
- REFER TO ARCHITECTURAL, CIVIL AND OTHER CONSULTANTS DRAWINGS FOR ADDITIONAL INFORMATION.
- PRIOR TO BEGINNING CONSTRUCTION, CONTRACTOR TO CHECK THE DRAWINGS AGAINST THE SITE OF THE WORK AND NOTIFY THE OWNER IN WRITING OF ANY DISCREPANCIES IN DIMENSIONS, SITE CONDITIONS, OR OTHER CONDITIONS BEFORE COMMENCING WORK. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION IN ANY SUCH AFFECTED AREA UNTIL THE DISCREPANCY HAS BEEN RESOLVED BY THE OWNER.
- CONTRACTORS AND SUB-CONTRACTORS ARE RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND ALL SECTIONS OF THE SPECIFICATIONS FOR COORDINATION OF THEIR WORK. ANY DISCREPANCIES IN THEIR RESPECTIVE TRADES ARE TO BE REPORTED TO THE OWNER'S REPRESENTATIVE BEFORE FINALIZING THEIR BIDS, AND COMMENCING WORK.
- THE CONTRACTOR SHALL COOPERATE WITH OTHER CONTRACTORS THAT WILL BE WORKING WITHIN OR ADJACENT TO THE PROJECT SITE. OTHER CONTRACTS THAT ARE EXPECTED TO BE ACTIVE DURING THIS WORK ARE: 1) UTILITY CONSTRUCTION; 2) SUBSURFACE GRADING, DRAINAGE AND UTILITIES; 3) BUILDING FOUNDATION WORK; 4) OTHER CONTRACTS STARTED PRIOR TO THIS CONTRACT; 5) ADDITIONAL CONTRACTS THAT MAY COMMENCE BEFORE COMPLETION OF THIS CONTRACT.
- CONTRACTOR TO BE RESPONSIBLE FOR THE COORDINATION WITH ALL LOCAL UTILITY COMPANIES. THE CONTRACTOR IS REQUIRED TO NOTIFY THE LOCAL UTILITY COMPANY 48 HOURS PRIOR TO DIGGING IN ORDER THAT UNDERGROUND UTILITIES IN THE AREA CAN BE LOCATED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF ANY MATERIALS DEPOSITED OUTSIDE THE WORK AREA. EXISTING CONSTRUCTION DRAINAGE SYSTEM AND EROSION CONTROL TO BE MAINTAINED, MODIFIED, AND/OR REMOVED AS NOTED ON CIVIL ENGINEERING PLANS.
- THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE FEDERAL, STATE AND LOCAL ENVIRONMENTAL PROTECTION STANDARDS, LAWS AND REGULATIONS.
- CONTRACTOR TO SCHEDULE WORK IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL ENVIRONMENTAL PROTECTION STANDARDS, LAWS AND REGULATIONS.
- DO NOT SCALE DRAWINGS.

NEW CONSTRUCTION LAYOUT NOTES

- CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, LAYOUT COORDINATES, AND WORK FROM PREVIOUS AND ONGOING CONTRACTS IN THE FIELD. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR DIRECTION PRIOR TO COMMENCING CONSTRUCTION.
- GENERAL CONTRACTOR IS TO COORDINATE ALL LAYOUT, STAKING, AND GRADING CONTROLS AMONG ALL TRADES; SPECIFICALLY BUT NOT LIMITED TO CONCRETE PAVING, CONCRETE WALL CONSTRUCTION, UNDERGROUND UTILITIES, UNIT PAVING AND PLANTING.
- ALL LAYOUT COMPONENTS TO BE STAKED OUT IN THE FIELD BY THE CONTRACTOR PER BASELINES CREATED BY CONNECTING INDICATED COORDINATE POINTS OR OFFSETTING FROM BASELINES. OBTAIN OWNER'S REPRESENTATIVE APPROVAL IN THE FIELD OF LAYOUT WITH BASELINES INDICATED BEFORE STARTING CONSTRUCTION.
- ANY CHANGES PROPOSED TO LAYOUT OF COORDINATE POINTS OR DIMENSIONS ON THIS DRAWING MUST BE APPROVED BY THE OWNER IN WRITING PRIOR TO CONSTRUCTION.
- ALL SITE DIMENSIONS ARE GIVEN FROM DEFINED COORDINATE POINTS, BASELINES CREATED BY CONNECTING COORDINATE POINTS, AND/OR TO THE FRONT FACES OF WALLS AND STRUCTURES, UNLESS OTHERWISE NOTED. TAKE DIMENSIONS FROM COORDINATE POINTS, BASELINES, FRONT OF CURB, FACE OF WALL, FACE OF HEADER, EDGE OF PAVING OR CENTERLINE OF COLUMNS UNLESS OTHERWISE NOTED.
- ALL ANGLES ARE ASSUMED TO BE 90 DEGREES UNLESS OTHERWISE NOTED OR AS INDICATED PER LAYOUT STAKING ITEM 3 ABOVE.
- REFER TO MATERIAL PLAN(S) FOR ALL PAVING JOINT LOCATIONS UNLESS OTHERWISE NOTED; CONTRACTOR TO SUBMIT SHOP DRAWINGS, VERIFYING LAYOUT PRIOR TO INSTALLATION.
- DRAIN COORDINATES ARE TO CENTER LINE OF DRAIN, OR WHEN NOT PROVIDED, DRAINS ALIGN WITH ADJACENT PAVING WHEN PAVING IS NEARBY, OR DRAINS ALIGN WITH SHARP TOE OF SLOPE WHEN LOCATED AT THE INTERSECTION OF TWO OR MORE SLOPES.
- ALL VALVE BOXES TO BE LINED UP AND SET PARALLEL TO ADJACENT HARDSCAPE, UNDER DRAINAGE, UNLESS OTHERWISE NOTED.

NEW CONSTRUCTION PLANTING NOTES

- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY "THE AMERICAN STANDARD FOR NURSERY STOCK", PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, LATEST EDITION.
- WRITTEN APPROVAL IS TO BE RECEIVED FROM OWNER FOR PLANT SUBSTITUTIONS.
- ALL PLANTS SHALL BE APPROVED BY OWNER PRIOR TO THEIR INSTALLATION AT THE SITE.
- FOR PLANTING LAYOUT DIMENSIONS AND DETAIL REFERENCES SEE PLANTING AREA PLANS, DETAIL PLANS AND DETAILS.
- NO TREES SHALL BE PLANTED LESS THAN 2 FEET FROM WALKS, CURBS, OR OTHER STRUCTURES. WHERE TREES ARE LOCATED WITHIN 5 FEET OF PAVING OR STRUCTURES, ROOT CONTROL BARRIER SHALL BE INSTALLED.
- CONTRACTOR SHALL LOCATE AND VERIFY UTILITY AND UTILITY LINE LOCATIONS PRIOR TO STAKING PLANTS AND REPORT ANY CONFLICT TO OWNER PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL STAKE ALL PLANT LOCATIONS IN THE FIELD, AND OBTAIN APPROVAL OF OWNER BEFORE STARTING PLANT INSTALLATION.
- CONTRACTOR TO COORDINATE PLANT LAYOUT WITH IRRIGATION EQUIPMENT LAYOUT. PLANT LAYOUT TAKES PRECEDENCE OVER IRRIGATION EQUIPMENT LAYOUT.
- ALL TREES SHALL BE STAKED ACCORDING TO DETAIL PROVIDED UNLESS OTHERWISE NOTED.
- REFER TO PLANTING SPECIFICATION FOR CONDITIONS OF TREE SUBDRAINAGE INSTALLATION AND TESTING PROCEDURE.
- REFER TO CIVIL DRAWINGS FOR LOCATION AND INSTALLATION OF SUBSURFACE DRAINAGE.

OTHER NOTES

- FOR ADDITIONAL NOTES PERTAINING TO ARCHITECTURE, CIVIL ENGINEERING, MEP ENGINEERING, LIGHTING AND SIGNAGE, REFER TO DOCUMENTS OF RESPECTIVE DISCIPLINES AND OTHER NOTES WITHIN THIS PACKAGE.
- THE REPRODUCTIVE USE OF THE CONTRACT DOCUMENTS OR ELECTRONIC FILES AS SHOP DRAWING DOCUMENTS BY THE CONTRACTOR IS AT THEIR OWN RISK. THE DESIGN TEAM ASSUMES NO LIABILITY AS A RESULT OF THE REPRODUCTIVE USE OF THE CONTRACT DOCUMENTS FOR SHOP DRAWINGS.
- LANDSCAPE DESIGN IS COMPATIBLE WITH VINTAGE PARK DESIGN GUIDELINES DATED MAY 2021. REFER TO PETERSEN STUDIO MEMO DATED JULY 24, 2023 FOR ADDITIONAL APPROVED PLANT SPECIES ON FORTHCOMING VPGA AMENDED PLANT LIST. SEE SHEET L0.10 FOR PROPOSED PLANT PALETTE.

LANDSCAPE SHEET INDEX

NO. SHEET SHEET NAME

GENERAL NOTES

1 L0.00 LANDSCAPE GENERAL NOTES & ABBREVIATIONS

SCHEDULES & REFERENCE PLANS

2 L0.10 PLANTING PALETTE
3 L0.20 ILLUSTRATIVE PLAN & LANDSCAPE NARRATIVE

PLANS

4 L1.00 LAYOUT PLAN
5 L2.00 MATERIAL PLAN
6 L3.00 GRADING & DRAINAGE PLAN
7 L4.00 FURNISHING & LIGHTING PLAN
8 L6.00 PLANT & TREE REMOVAL PLAN
9 L6.01 TREE PROTECTION PLAN
10 L6.02 TREE PLANTING PLAN
11 L6.03 GROUND COVER PLANTING PLAN - RESEARCH QUAD
12 L6.04 GROUND COVER PLANTING PLAN - NORTH ARRIVAL

DETAILS

13 L9.01 PLANTING DETAILS

LANDSCAPE COVERAGE

	EXISTING SITE COVERAGE	%*	PROPOSED SITE COVERAGE	%*
PLANTING	20,900 SF	16%	40,500 SF	31%
PEDESTRIAN HARDSCAPE	11,300 SF	9%	30,500 SF	24%
VEHICULAR HARDSCAPE (SEE CIVIL DRAWINGS)	74,900 SF	58%	16,600 SF	13%
BUILDING FOOTPRINT** (SEE ARCH DRAWINGS)	23,300 SF	18%	40,900 SF	32%

ADDITIONAL AREAS			
PERVIOUS AREA (PLANTING & PERMEABLE HARDSCAPE)	20,900 SF	16%	44,700 SF 35%
STORMWATER TREATMENT GARDENS	0 SF		4,300 SF

*PERCENT COVERAGE IS CALCULATED WITH APPROXIMATE 128,500 SF LIMIT OF WORK SHOWN IN DRAWINGS.
**BUILDING FOOTPRINT AT GROUND LEVEL IS APPROXIMATE AND INCLUDES SERVICE YARD. SEE ARCHITECTURE DRAWINGS.



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Description

LANDSCAPE GENERAL
NOTES & ABBREVIATIONS

Scale

L0.00

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TREES



PINUS ELDARICA
MONDELL PINE

VP



PINUS HALEPENSIS
ALEPPO PINE

VP



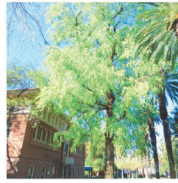
PINUS TORREYANA
TORREY PINE

VA



ARBUTUS MARINA
MARINA S'RAWBERRY TREE

VP



POPULUS FREMONTII
FREMONT COTTONWOOD

VP



SALIX LASIOLEPIS
ARROYO WILLOW

CA

KEY

- VP Vintage Park Approved Plant List
- VA Vintage Park Approved Plants on forthcoming VPCA Amended Plant List
- CA California Native
- CS San Mateo County C.3 Guidelines Approved Plant List

TALL SHRUBS



ARCTOSTAPHYLOS DENSIFLORA 'SENTINEL'
SENTINEL MANZANITA

VP



ARCTOSTAPHYLOS HOWARDMCMINN
HOWARD MCMINN MANZANITA

VP



CEANOTHUS CONCHA
CONCHA CALIFORNIA LILAC

VP



CEANOTHUS JULIA PHELPS
JULIA PHELPS CALIFORNIA LILAC

VP



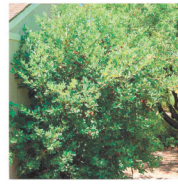
HETEROMELES ARBUTIFOLIA
TOYON

CA



LEUCADENDRON SILVERCONE
SILVER CONE GALPIN'S CONEBUSH

VA



RHAMNUS CALIFORNICA
CALIFORNIA COFFEEBERRY

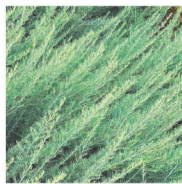
VP



WESTRINGIA BLUE GEM
BLUE GEM COAST ROSEMARY

VP

SHRUBS, PERENNIALS, AND GRASSES



ARTEMISIA CALIFORNICA
CALIFORNIA SAGEBRUSH

VA



CAREX DIVULSA
GRASSLAND SEDGE

CS



DIETES BICOLOR
FORTNIGHT LILY

VP



ERIOGONUM FASCICULATUM
CALIFORNIA BUCKWHEAT

VP



FESTUCA MAIREI
ATLAS FESCUE

VP



FESTUCA RUBRA
RED FESCUE

VP



GALVEZIA SPECIOSA
BUSH ISLAND SNAPDRAGON

VA



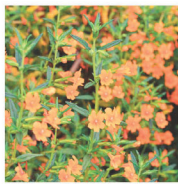
JUNCUS PATENS
CALIFORNIA GRAY RUSH

CS



LOMANDRA LONGIFOLIA
LOMANDRA OR DWARF MAT RUSH

VA



MIMULUS LAURANTIUS
BUSH MONKEYFLOWER

VP



MIMULUS FIESTA MARIGOLD
FIESTA MARIGOLD MONKEYFLOWER

VA



MUHLENBERGIA ACUBA
PINE MUHLY

VP



MUHLENBERGIA ARIGENS
DEER GRASS

CS



RHAMNUS C 'SEAVIEW OR LITTLE SUR'
COMPACT COFFEEBERRY

VP



SALVIA CLEVELANDII WINIFRED GILMAN
WINIFRED GILMAN SAGE

VP



SALVIA GREGGII
AUTUMN SAGE

VP



VERBENA LILACINA 'DE LA MINA'
DE LA MINA VERBENA

VA



WESTRINGIA MORNINGLIGHT
COAST ROSEMARY

VP

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CONSTRUCTION**

Project Name
GILEAD NRC 331

Project Number
001.2407.000

Description
PLANTING PALETTE

Scale
N.T.S.

L0.10

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LANDSCAPE NARRATIVE

A. SITE DESIGN OBJECTIVES

- Provide a series of outdoor spaces within the Research Quad that encourage collaboration, contemplation, and inspiration that supports Gilead's research and science goals.
- Create a pedestrian-focused Research Quad, between the NRC, Building 333, Building 335, and Lakeside Drive as a respite and refuge for Gilead's employees.
- Peripheralize service, loading and parking to enhance the pedestrian experience.
- Engage and activate the lobbies of the NRC and Building 333 with a Lobby Plaza that supports outdoor dining, work, and collaboration.
- Accommodate required EVA access surrounding the NRC. Integrate the EVA south of the NRC into the design language of the Research Quad.
- Integrate native-focused plantings that support a diverse community of pollinators.

B. USE OF PLANTING AND PAVING

- The Research Quad plantings are designed to evoke the experience of a native coastal prairie and coastal scrub.
- A matrix of tall decorative grasses is punctuated by informal drifts of native-focused perennials and low evergreen shrubs.
- Perennial and shrub drifts are generally perpendicular to the prevailing wind to enhance wind sheltering for seating areas and circulation.
- Plant materials are drought tolerant and provide visual interest during all seasons.
- The path network within the Research Quad connects building entrances and facilitates cross-campus circulation.

C&D. BASIC DESIGN ELEMENTS OF LANDSCAPE ARCHITECTURE AND CREATION OF COHESIVE LANDSCAPE CHARACTER

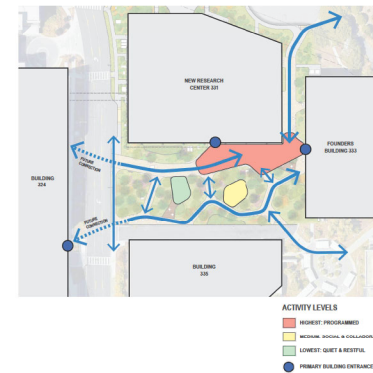
- The Research Quad is designed as a continuous integrated landscape experience with all elements supporting a cohesive landscape identity.
- The Research Quad design language embraces organic shapes and forms as a deliberate contrast and complement to the orthogonal perimeter buildings. The intent is for the landscape to provide a visual and experiential contrast and respite from the interior work environment.
- Repetition in the paths, garden decks, the tall grass matrix, planting drifts, and pine tree canopy reinforce this cohesive landscape identity.
- Planting colors reflect the palette of native coastal prairie and coastal scrub. Paving colors will trend towards warm earth tones.
- Outdoor social and collaboration spaces are integrated into the flowing garden context.

E. BASIC DESIGN CONCEPT

The Research Quad landscape design evokes the dramatic coastal prairie and coastal scrub landscapes of Foster City's pre-development bayfront. A dynamic network of paths and plazas engage building entrances and encourage cross-campus connectivity. Garden-enclosed wood decks provide collaborative and social destinations at several scales. The open pine canopy, supplemented by a layered understory of Arbutus and native shrubs, provide a rich three-dimensional garden experience, while preserving open views for safety and security.

The Research Quad will advance Gilead's research goals by attracting and retaining the top scientists, promoting the health and well-being of its employees, encouraging outdoor collaboration and social interaction, and inspiring through interaction with nature and seasonal cycles.

CONCEPT DIAGRAM



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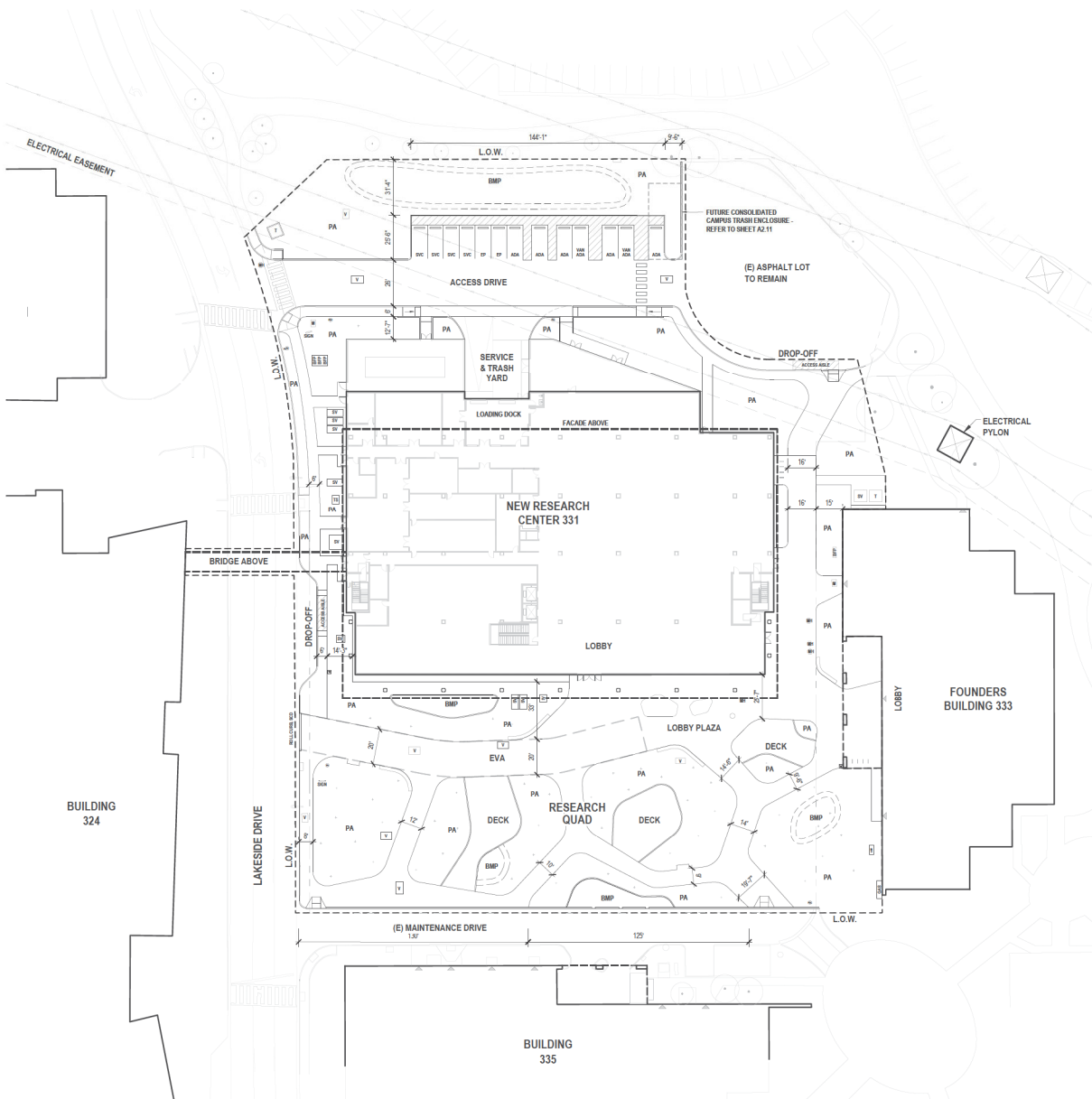
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Description
ILLUSTRATIVE PLAN
& LANDSCAPE NARRATIVE

Scale
1" = 30'-0"

L0.20



ELECTRICAL EASEMENT

BUILDING 324

BUILDING 335

FOUNDERS BUILDING 333

SHEET NOTES

1. SEE CIVIL DRAWINGS FOR SITE DEMO PLAN.
2. LIMIT OF WORK SHOWN 2' OFFSET FROM FACE OF CURBS FOR CLARITY.
3. SEE SHEET L0.00 FOR GENERAL NOTES, INDEX, ABBREVIATIONS AND SYMBOLS.
4. ALL MATERIALS USED IN FIRE LANE TO BE CAPABLE OF SUPPORTING 65,000 LBS AND COMPLYING WITH GFC 903.2.3.
5. SEE CIVIL DRAWINGS FOR EXISTING AND PROPOSED SITE UTILITIES.

LEGEND

▽	BUILDING ENTRANCE / EXIT DOOR
- L.O.W.	LIMIT OF WORK (OFFSET FROM FACE OF CURB FOR CLARITY)
SIGN	MONUMENT SIGN, PER VP GUIDELINES
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION
BMP	FLOW-THROUGH PLANTER
PA	PLANTING AREA
T	TRANSFORMER, ABOVE GRADE
S	SWITCH, ABOVE GRADE
TS	TRANSITION SWITCH, ABOVE GRADE
SV	SETTLEMENT VAULT, FLUSH WITH GRADE
V	UTILITY VAULT, FLUSH WITH GRADE
BFP	BACKFLOW PREVENTER, ABOVE GRADE
M	UTILITY METER, FLUSH WITH GRADE
MH	MANHOLE
SVC	PARKING STALL - SERVICE / MAINTENANCE
EP	PARKING STALL - EXPECTANT PERSON
ADA	PARKING STALL - ACCESSIBLE
ASR	(E) AUTOMATIC SPRINKLER RISER, ABOVE GRADE



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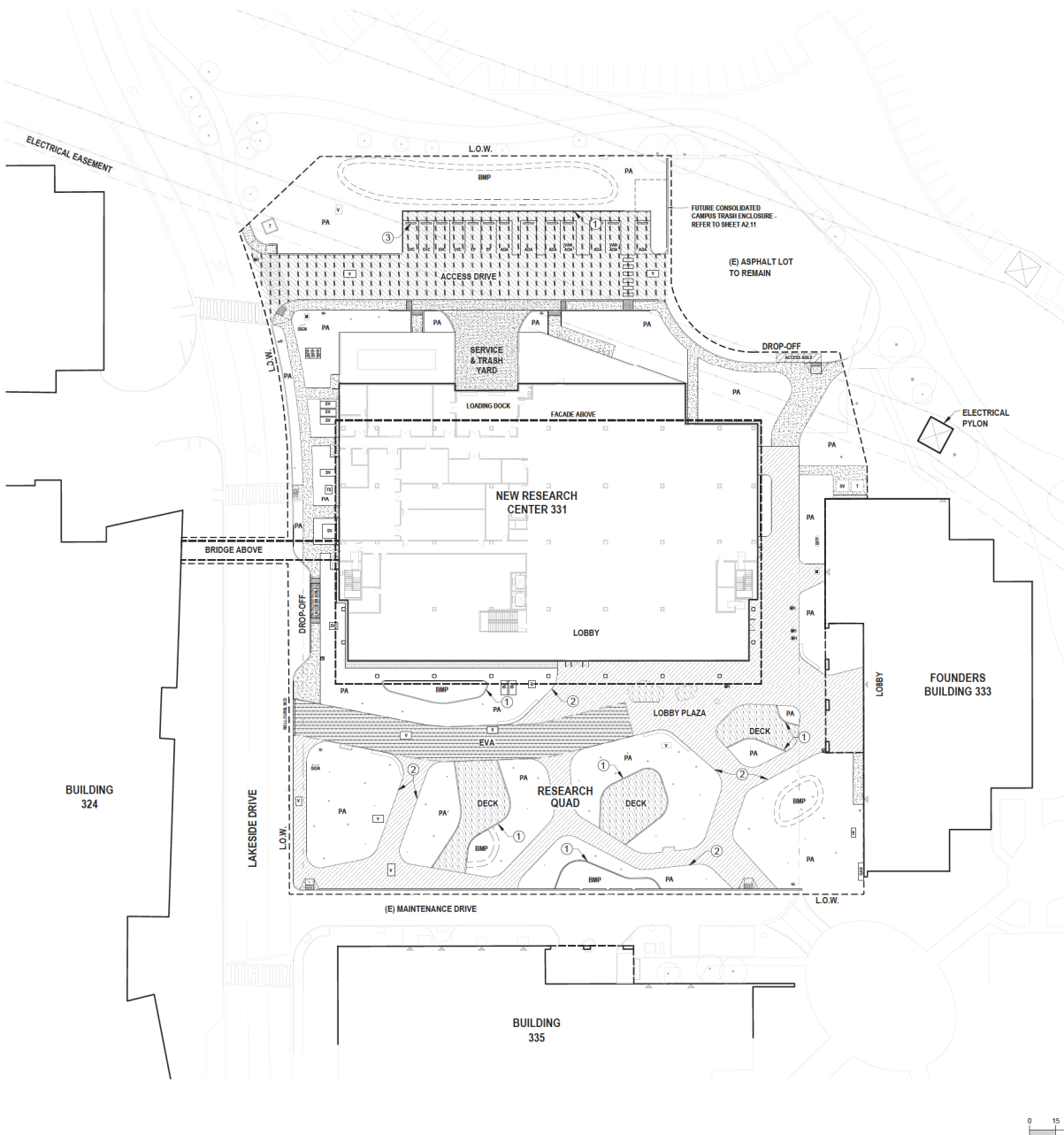
Project Number
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Description
LAYOUT PLAN

Scale
1" = 30'-0"

L1.00

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SHEET NOTES

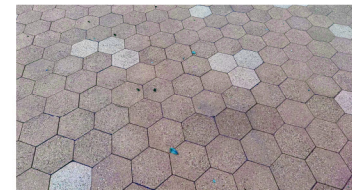
- SEE CIVIL DRAWINGS FOR SITE DEMO PLAN.
- LIMIT OF WORK SHOWN 2' OFFSET FROM FACE OF CURBS FOR CLARITY.
- SEE SHEET L0.00 FOR GENERAL NOTES, INDEX, ABBREVIATIONS AND SYMBOLS.
- ALL EXPOSED WOOD (INCLUDING BUT NOT LIMITED TO WOOD PLATFORMS, HANDRAILS, AND CLADDING FOR LANDSCAPE ELEMENTS) TO BE FSC CERTIFIED, RECLAIMED, ACETYLATED, OR POLYMERIZED. DOMESTICALLY SOURCED WOOD SPECIES ARE PREFERRED. ALL WOOD TO HAVE A JANKA HARDNESS RATING OF AT LEAST 1300 LBF. NO TROPICAL HARDWOOD TO BE SPECIFIED.
- ALL MATERIALS USED IN FIRE LANE TO BE CAPABLE OF SUPPORTING 65,000 LBS AND COMPLYING WITH CFC 503.2.3.

MATERIAL LEGEND

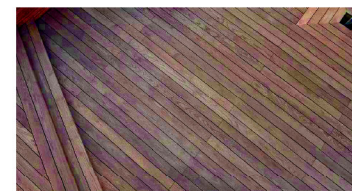
- CONCRETE UNIT PAVERS, VEHICULAR TYP
8" X 8" HEXAGONAL PAVES, WARM GRAY
- CONCRETE UNIT PAVERS, VEHICULAR EVA
SEE CIVIL DRAWINGS - MATCHING TYP PAVERS
8" X 8" HEXAGONAL PAVES, WARM GRAY
- WOOD DECKING,
FSC CERTIFIED
- CAST IN PLACE CONCRETE
- CAST IN PLACE CONCRETE, VEHICULAR
SEE CIVIL DRAWINGS
- ASPHALT, VEHICULAR
SEE CIVIL DRAWINGS
- DECORATIVE ROCK MAINTENANCE STRIP
- TRUNCATED DOME PAVERS, SCD

- ① CONCRETE CURB
- ② 1/4" THK STEEL EDGE RESTRAINT ATTACHED
TO CONCRETE CURB BELOW, TYP AT PAVERS
- ③ PRECAST CONCRETE WHEEL STOPS

MATERIAL IMAGES



QUAD CONCRETE UNIT PAVES PRECEDENT IMAGE



QUAD WOOD DECKING PRECEDENT IMAGE

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Tel 415.368.8273

Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
GILEAD NRC 331

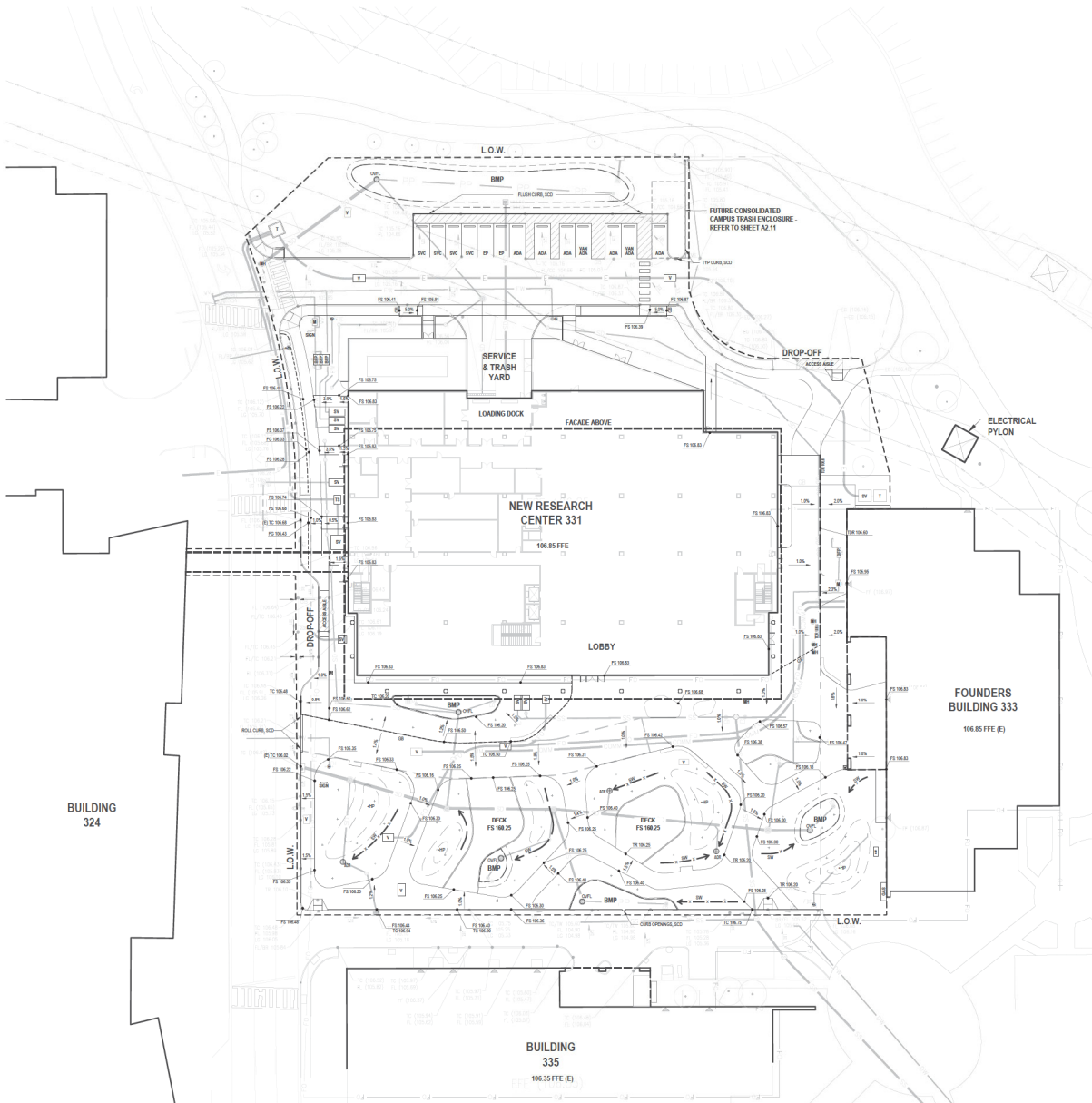
Project Number
001.2407.000

Description
MATERIAL PLAN

Scale
1" = 30'-0"

L2.00

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SHEET NOTES

- SEE SHEET L0.00 FOR GENERAL NOTES, INDEX, ABBREVIATIONS AND SYMBOLS.
- CONTRACTOR TO FIELD VERIFY ALL EXISTING GRADES AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE OWNER BEFORE PROCEEDING WITH WORK.
- GRADE SURFACE TO ENSURE POSITIVE DRAINAGE FROM ALL STRUCTURES. FINISHED ELEVATION OF PAVING AT BUILDING ENTRIES MAY NOT BE LOWER THAN 1/4" BELOW FFE. FOR GRADES OF BUILDING FFE AND PODIUM ELEVATIONS SAD/BSL.
- CROSS PITCH OF PEDESTRIAN PAVING MAY NOT EXCEED 2%.
- DECKS, TERRACES, SEATING PLATFORMS, AND OPEN JOINT SURFACES TO BE INSTALLED LEVEL (NO SLOPE) UON.
- PITCH EVENLY BETWEEN ALL SPOT GRADES AND CONTOUR LINES UON. GRADE SURFACES TO PREVENT PONDING OR SURFACE DRAINAGE.
- TOP OF WALL PROFILES ARE TO BE LEVEL UON.
- HOLD DOWN FINISH GRADE OF PLANTING AREA PLANTING SOIL TO ACCOMMODATE FLUSH CONDITION BETWEEN TOP OF MULCH AND ADJACENT PAVING UON.
- SEE CIVIL DRAWINGS FOR FLOW THROUGH PLANTER DRAINAGE INFRASTRUCTURE, STORMWATER CONNECTIONS, AND LINER. REFER TO LANDSCAPE SPECIFICATIONS FOR FLOW-THROUGH PLANTER SOIL.
- SEE CIVIL DRAWINGS FOR GRADING OF VEHICULAR PAVING, CURBS, AND GUTTERS.

GRADING LEGEND

SYMBOL	ITEM / DESCRIPTION
---	GRADE BREAK
XXXX	SPOT ELEVATION
X/N	% SLOPE OF GRADE
ABBREV	ACRONYMS
FG	FINISH GRADE
FS	FINISH SURFACE
FFE	FINISH FLOOR ELEVATION
GB	GRADE BREAK
HP	HIGH POINT
TC	TOP OF CURB
TC(E)	TOP OF CURB - EXISTING
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
BR	BOTTOM OF RAMP
TR	TOP OF RAMP
TW	TOP OF WALL

DRAINAGE LEGEND

SYMBOL	ITEM / DESCRIPTION
---	TRENCH DRAIN
---	FRENCH DRAIN
ADR	AREA DRAIN
OWL	OVERFLOW DRAIN, SCD
SW	SWALE



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Project Name
GILEAD NRC 331

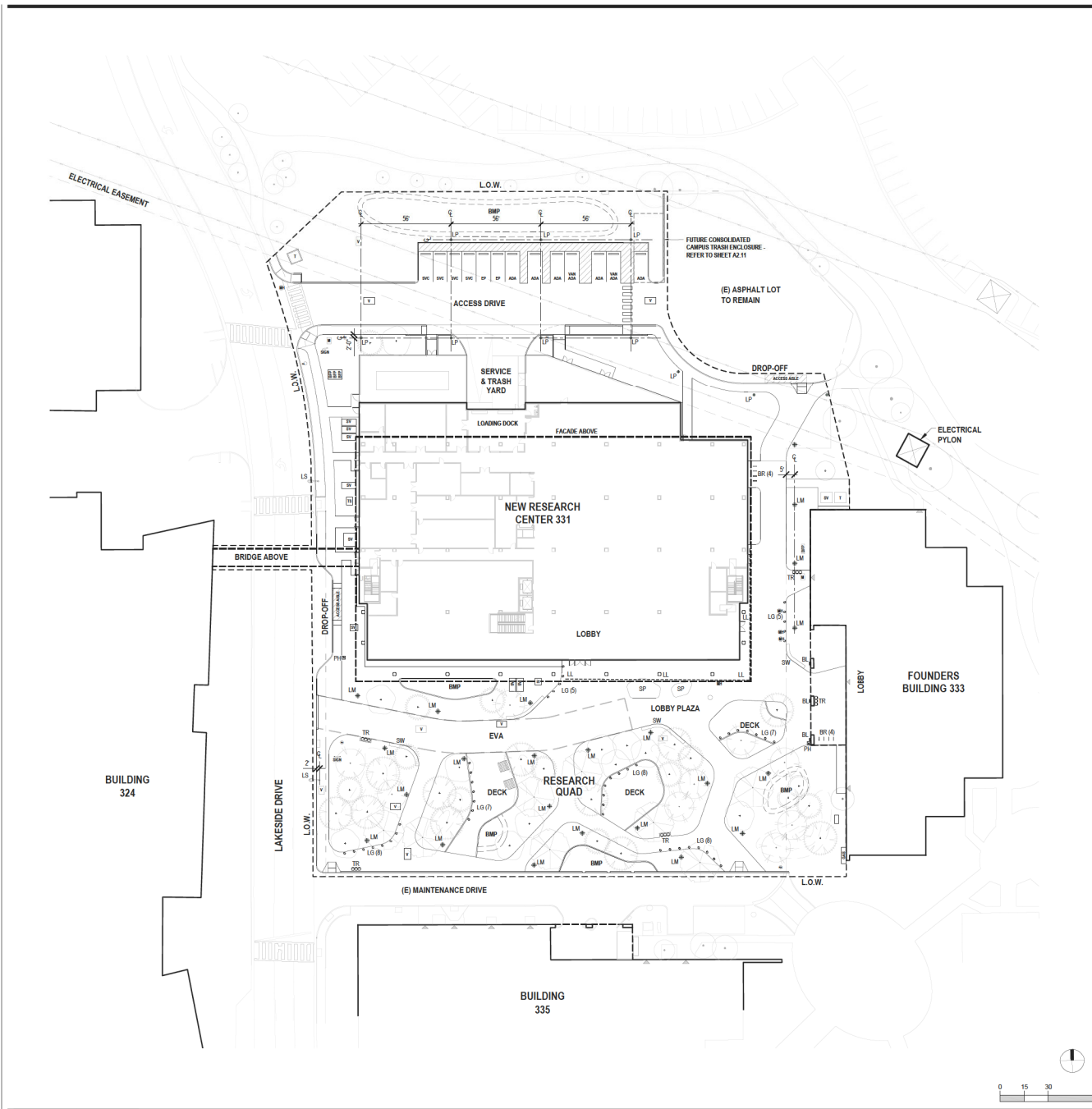
Project Number
001.2407.000

Description
GRADING & DRAINAGE PLAN

Scale
1" = 30'-0"

L3.00

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SHEET NOTES

- SEE LIGHTING CONSULTANT SCHEDULE AND CUT SHEETS FOR OUTDOOR LIGHT FIXTURES, SPECIFICATIONS AND PHOTOMETRICS. DIMENSIONAL LAYOUT OF EXTERIOR LIGHT FIXTURES AND COORDINATION WITH ADJACENT LANDSCAPE ELEMENTS ARE SHOWN ON LANDSCAPE DRAWINGS.
- BIKE PARKING LAYOUT TO CONFORM TO FOSTER CITY BICYCLE TECHNICAL GUIDELINES.
- BIKE PARKING AREAS TO BE LOCATED WITHIN 100 FT OF BUILDING ENTRANCES AND TO BE CLEARLY VISIBLE FROM BUILDING ENTRANCES.
- SAMPLES, MOCKUPS, AND SHOP DRAWINGS FOR CUSTOM AND CUSTOMIZED FURNISHINGS TO BE REVIEWED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO FABRICATION.
- ALL WOOD BOARDS AND STEEL MEMBERS TO HAVE SMOOTH EASED EDGES, ENDS, AND CORNERS AND BE DULL TO THE TOUCH.
- ALL FIXED FURNISHINGS IN PUBLICLY-ACCESSIBLE AREAS TO BE MOUNTED WITH TAMPER-RESISTANT FASTENERS.

FURNISHING LEGEND

BR	BIKE RACK
TR	TRASH, RECYCLE, & COMPOST RECEPTACLES CAMPUS STANDARD
ER	ELECTRICAL RECEPTACLE / BOLLARD, SED
PH	EMERGENCY BLUE PHONE, CAMPUS STANDARD
SIGN	MONUMENT SIGN, CONFORMS TO APPROVED VINTAGE PARK SIGNAGE GUIDELINES
SW	PRECAST CONCRETE SEATWALL
SP	SEATING PLATFORM

LIGHTING LEGEND

LP	PARKING LOT POLE LIGHT
LM	MULTI-HEAD POLE LIGHT
LS	STREET LIGHT REPOSITIONED, LAKESIDE DRIVE
LG	GARDEN ACCENT LIGHT
RL	BUILDING MOUNTED LIGHT, SAD
LL	BUILDING MOUNTED SOFFIT LIGHTING, SAD

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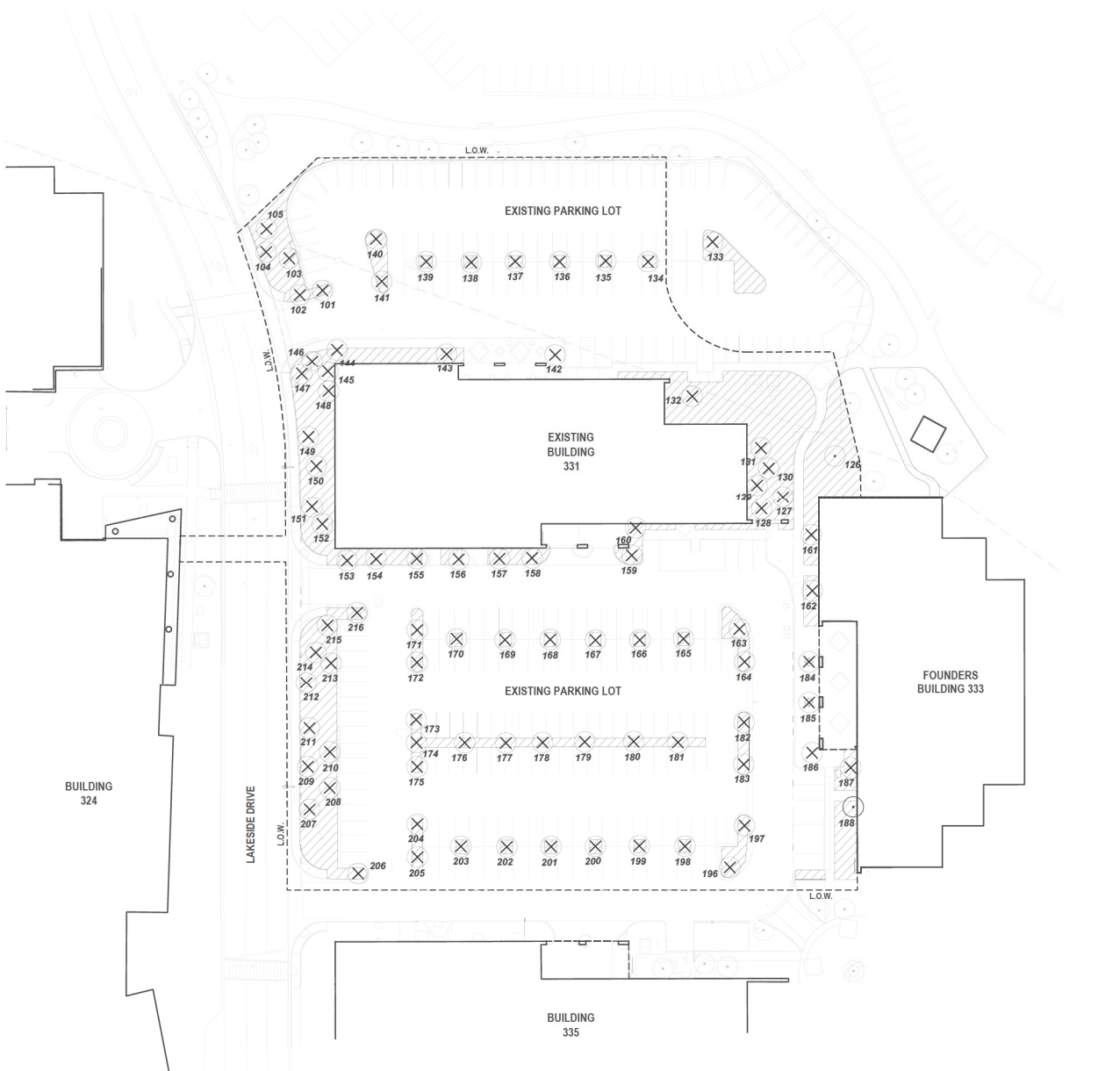
Project Number
001.2407.000

Description
FURNISHING & LIGHTING PLAN

Scale
1" = 30'-0"

L4.00

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SHEET NOTES

- TREE SPECIES AND SIZE INFORMATION IS PROVIDED BY 331 LAKESIDE DRIVE ARBORIST REPORT, ISSUED BY HORTSCIENCE BARTLETT CONSULTING IN APRIL 2023. TREES WERE ASSESSED ON MARCH 27, 2023.
- A TREE PROTECTION ZONE SHALL BE IDENTIFIED FOR EACH TREE TO BE PRESERVED. THE TREE PROTECTION ZONE FOR EACH TREE SHALL BE THE DRIPLINE OF THE TREE AS NOTED ABOVE. WHERE TREES GROW IN GROUPS, FENCE AROUND A COLLECTIVE 1/2" USING THE DIAMETERS OF THE EDGE TREES TO CALCULATE THE RADIUS, OR THE EDGE OF EXISTING PAVEMENT.
- FENCE ALL TREES TO BE RETAINED TO COMPLETELY ENCLOSE THE TREE PROTECTION ZONE PRIOR TO DEMOLITION, GRUBBING OR GRADING. FENCES SHALL BE CHAIN LINK WITH POSTS SUNK INTO THE GROUND OR EQUIVALENT AS APPROVED BY THE CITY. REFER TO LANDSCAPE DETAILS SHEET L9.00.

KEY

- EXISTING TREE TO REMAIN
- EXISTING TREE TO REMAIN OUTSIDE LIMIT OF WORK (L.O.W.)
- EXISTING TREE TO BE REMOVED
- 101 TREE ID NUMBER PER ARBORIST REPORT
- GROUND COVER PLANTING TO BE REMOVED

TREE LIST (PER ARBORIST'S REPORT)

NO.	NAME	STATUS	NO.	NAME	STATUS
101	Purpleleaf plum	Remove	171	Blackwood acacia	Remove
102	Purpleleaf plum	Remove	172	Blackwood acacia	Remove
103	New Zealand Christmas Tree	Remove	173	Blackwood acacia	Remove
104	New Zealand Christmas Tree	Remove	174	Blackwood acacia	Remove
105	Chinese Elm	Remove	175	Blackwood acacia	Remove
106	Callery pear	To Remain	176	Brazilian pepper	Remove
107	Malus	Remove	177	Brazilian pepper	Remove
108	Malus	Remove	178	Brazilian pepper	Remove
109	Malus	Remove	179	Brazilian pepper	Remove
110	Twisted Horkow willow	Remove	180	Brazilian pepper	Remove
111	Twisted Horkow willow	Remove	181	Brazilian pepper	Remove
112	Callery pear	Remove	182	Blackwood acacia	Remove
113	Blackwood acacia	Remove	183	Blackwood acacia	Remove
114	Brazilian pepper	Remove	184	Crape myrtle	Remove
115	Brazilian pepper	Remove	185	Crape myrtle	Remove
116	Brazilian pepper	Remove	186	Brisbane box	Remove
117	Brazilian pepper	Remove	187	Canopy paperbark tree	Remove
118	Brazilian pepper	Remove	188	Brisbane box	To Remain
119	Brazilian pepper	Remove	189	Blackwood acacia	Remove
120	Brazilian pepper	Remove	190	Blackwood acacia	Remove
121	Brazilian pepper	Remove	191	Blackwood acacia	Remove
122	Brazilian pepper	Remove	192	Blackwood acacia	Remove
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Date Description
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Seal / Signature

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Project Name
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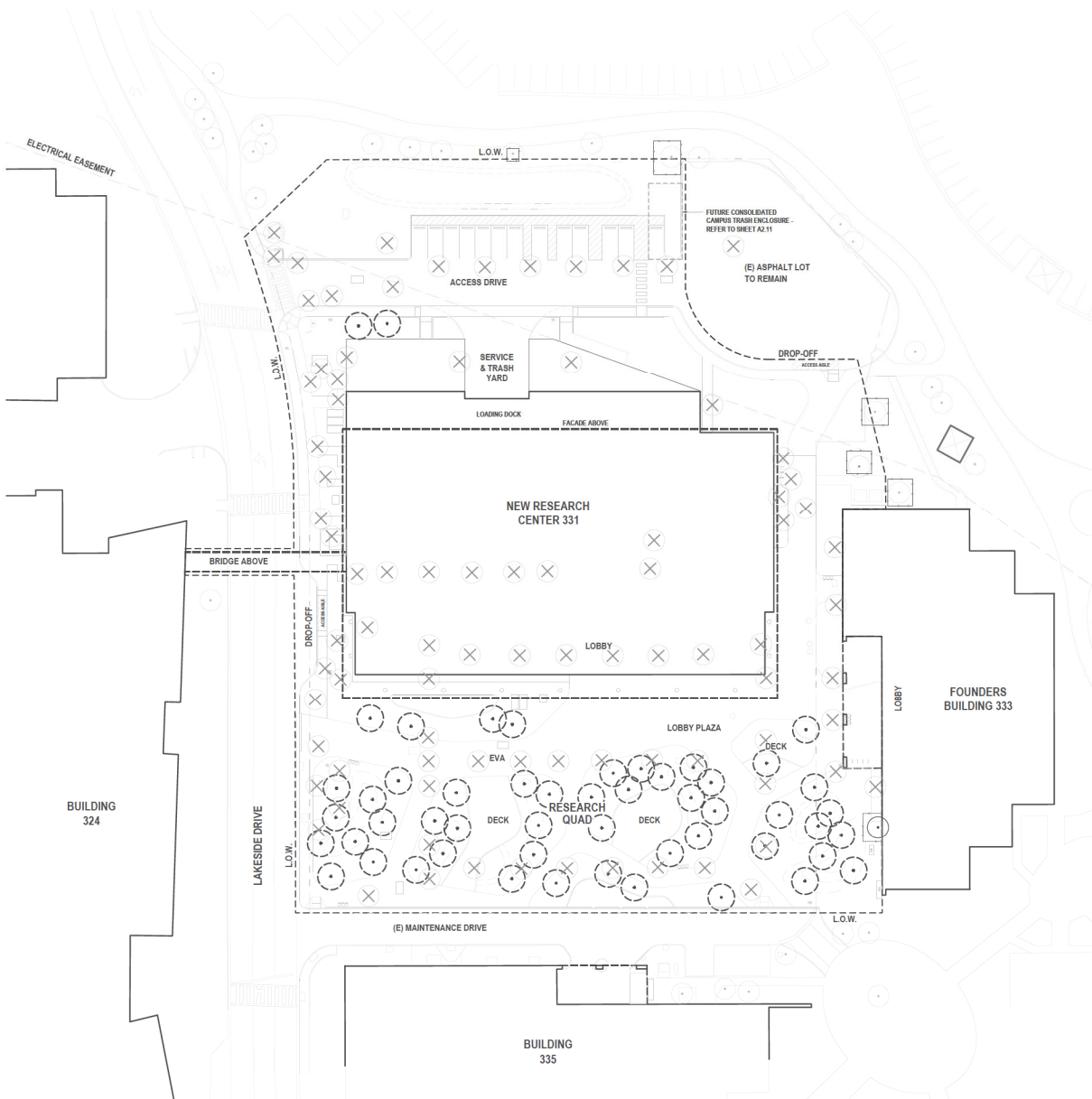
Project Number
001.2407.000

Description
PLANT & TREE REMOVAL PLAN

Scale
1" = 30'-0"

L6.00

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SHEET NOTES

- TREE SPECIES AND SIZE INFORMATION IS PROVIDED BY 331 LAKESIDE DRIVE ARBORIST REPORT, ISSUED BY HORTSCIENCE BARTLETT CONSULTING IN APRIL 2023. TREES WERE ASSESSED ON MARCH 27, 2023.
- TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION. PER DETAIL 3/L9.01
- TREE PROTECTION FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. REMOVE FENCE ONLY WITH APPROVAL AND AFTER ALL SITE WORK HAS BEEN COMPLETED.
- TREES TO BE PRESERVED ARE TO BE PROTECTED BY A FENCE WHICH IS TO BE MAINTAINED AT ALL TIMES AT A MINIMUM DISTANCE OF THE CANOPY DRIPLINE. ALL FILL SOIL SHALL BE KEPT OUT OF THE TREE PROTECTION ZONES (TPZ) BOTH DURING AND AFTER CONSTRUCTION.
- PROTECTED TREES THAT HAVE BEEN DAMAGED OR DESTROYED BY CONSTRUCTION SHALL BE REPLACED.
- SIGNS, WIRES, OR SIMILAR DEVICES SHALL NOT BE ATTACHED TO PROTECTED TREES.
- SHOULD ANY CONSTRUCTION ACTIVITY TAKE PLACE WITHIN THE CRITICAL ROOT ZONE (CRZ) OF ANY TREES, STRESS REDUCTION MEASURES SHALL BE IMPLEMENTED. THESE CAN INCLUDE AIR SPADING AND ROOT PRUNING, SIGNAGE AND FENCING, AND/OR BIOSTIMULANT AND GROWTH REGULATOR TREATMENTS IN ADVANCE OF DISTURBANCE.
- ANTI-COMPACTON MEASURES SHALL BE IMPLEMENTED INSIDE THE CRZ BUT OUTSIDE THE TPZ IF THEY DO NOT COINCIDE.
- FOLLOW ANSI A300 PRUNING STANDARDS WHEN CONDUCTING ANY PRUNING ON TREES. ANY PRUNING BEYOND 20 PERCENT OF THE TREE CANOPY SHOULD BE APPROVED BY PROJECT ARBORIST.

LEGEND

- EXISTING TREE TO REMAIN
- EXISTING TREE TO REMAIN OUTSIDE LIMIT OF WORK (L.O.W.)
- EXISTING TREE TO BE REMOVED
- PROPOSED TREE
- TREE PROTECTION FENCE

TREE SUMMARY

83	EXISTING TREES REMOVED
48	PROPOSED NEW TREES



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225 Montgomery Street,
Suite 1250
San Francisco, CA 94104
United States
Tel 925.396.7700

LIGHTING
H&B
785 Market St, Suite 800
San Francisco, CA 94103
United States
Tel 415.348.8273

Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
GILEAD NRC 331

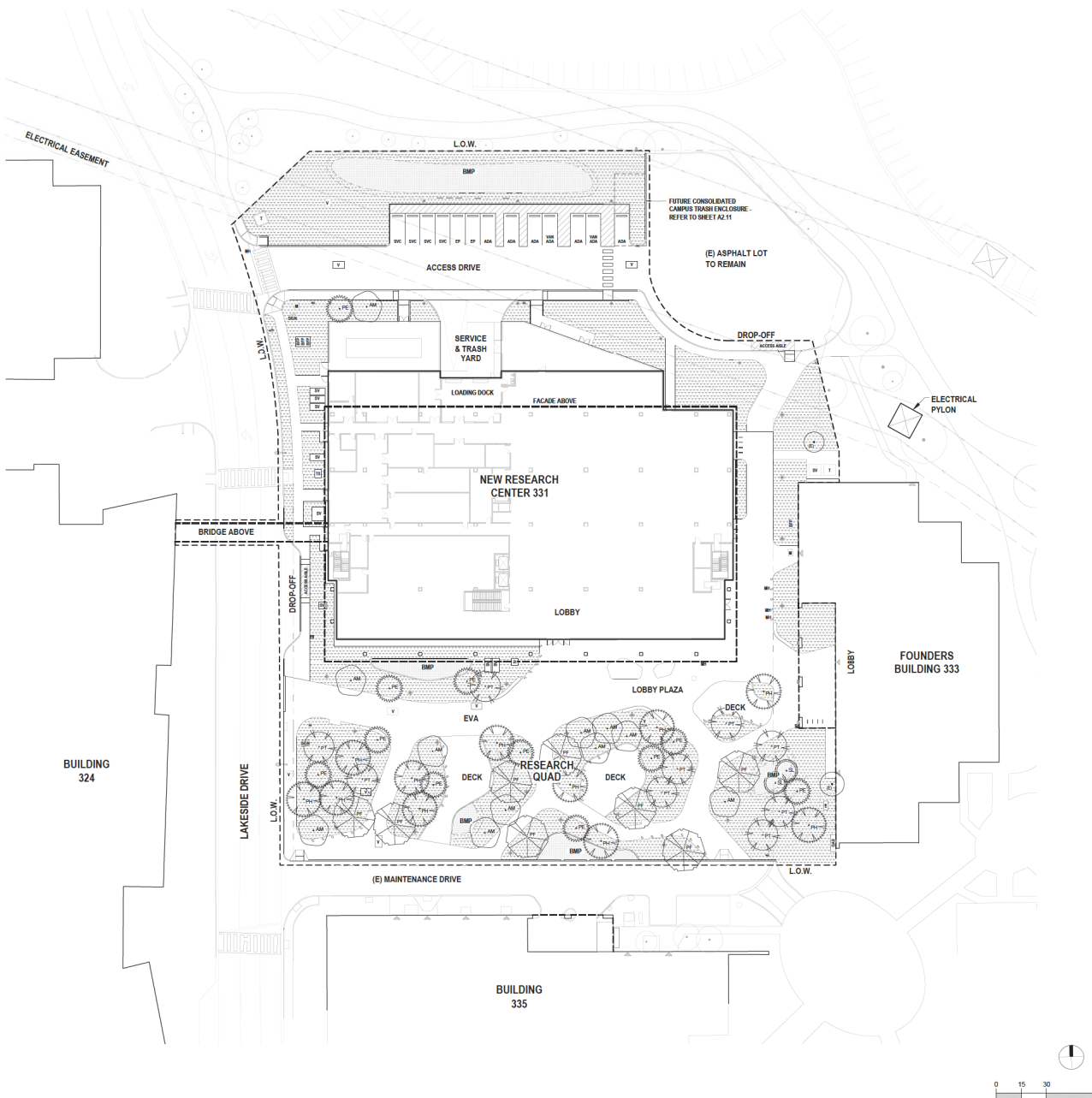
Project Number
001.2407.000

Description
TREE PROTECTION PLAN

Scale
1" = 30'-0"

L6.01

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SHEET NOTES

1. ALL TREE AND PLANT SPECIES TO CONFORM TO THE VINTAGE PARK DESIGN GUIDELINES APPROVED PLANT LIST OR HAVE BEEN RECENTLY APPROVED FOR INCLUSION ONTO THE LIST.
2. ALL STREET TREES SHOWN ON PLANS SHALL BE MAINTAINED BY THE BUILDING OWNER IN A WEED AND LITTER FREE CONDITION AT ALL TIMES, AND IN A HEALTHY GROWING CONDITION CONSISTENT WITH THE CITY OF FOSTER CITY STANDARDS.
3. TREE BRANCHES TO BE MAINTAINED WITH A MINIMUM OF 80 INCHES VERTICAL CLEARANCE ABOVE ALL PEDESTRIAN PATHS OF TRAVEL.
4. ALL TREE BRANCHES ALONG ACCESS ROAD, LAKESIDE DRIVE, AND DEDICATED EVA ROUTES TO BE MAINTAINED AT MATURITY TO A CLEAR HEIGHT OF OF 15'-0" TO COMPLY WITH CFC 503.2.1.
5. ALL PLANTING IRRIGATION TO EXCEED STATE REQUIREMENTS OF MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
6. A BUILDING-MOUNTED WEATHER SENSOR IS REQUIRED FOR PLANTING IRRIGATION. LOCATION OF SENSOR TO BE COORDINATED WITH ARCHITECT. HARD-WIRING BETWEEN SENSOR AND CONTROLLER TO BE COORDINATED WITH ELECTRICAL ENGINEER.
7. PLANTING SOIL IN THE RESEARCH QUAD WILL BE 48" DEEP TYPICAL. PLANTING SOIL NORTH OF THE NRC WILL BE 24" DEEP TYPICAL.

TREE LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE / QTY	WTR (WUCOLS)
	<i>Pinus halepensis</i>	Aleppo Pine	36" box 11 Trees	L
	<i>Pinus eldarica</i>	Altgen Pine	36" box 9 Trees	L
	<i>Pinus torreyana</i>	Torrey Pine	36" box 8 Trees	L
	<i>Populus fremontii</i>	Cottonwood	24" box 8 Trees	M
	<i>Arbutus 'Marina'</i>	Marina Strawberry Tree Multi-Trunk	36" box 8 Trees	L
	<i>Salix lasiolepis</i>	Arroyo Willow Multi-Trunk (Stormwater Basins)	15 gal 4 Trees	H
	EXISTING TREES TO REMAIN			



331 LAKESIDE DRIVE
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Project Name
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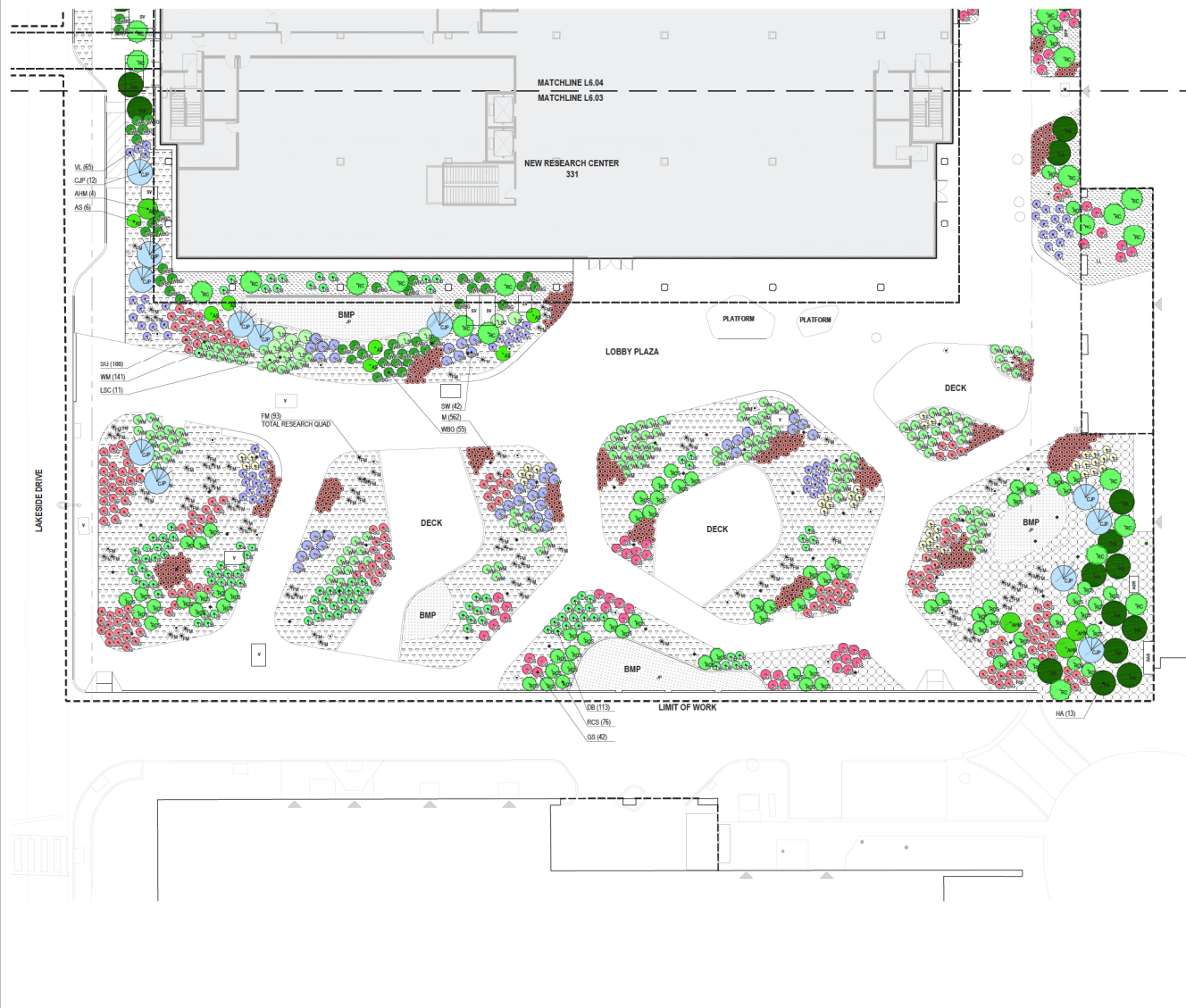
Project Number
001.2407.000

Description
TREE PLANTING PLAN

Scale
1" = 30'-0"

L6.02

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SHEET NOTES

- ALL STREET TREES SHOWN ON PLANS SHALL BE MAINTAINED BY THE BUILDING OWNER IN A WEED AND LITTER FREE CONDITION AT ALL TIMES, AND IN A HEALTHY GROWING CONDITION CONSISTENT WITH THE CITY OF FOSTER CITY STANDARDS.
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- PLANTING SOIL IN THE RESEARCH QUAD WILL BE 48" DEEP TYPICAL. PLANTING SOIL NORTH OF THE NRC WILL BE 24" TYPICAL.

PROPOSED PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPC	WTR USE
SHRUBS & PERENNIALS					
	<i>Arctostaphylos densiflora</i> 'Sentinel'	Sentinel Manzanita	15 gal	60" OC	L
	<i>Arctostaphylos</i> 'Howard McMin'	Howard McMin Manzanita	15 gal	72" OC	L
	<i>Artemisia californica</i>	California Sagebrush	3 gal	30" OC	L
	<i>Ceanothus</i> 'Concha'	California Mountain Lilac	5 gal	60" OC	L
	<i>Ceanothus</i> 'Julia Phelps'	Small Leaf Mountain Lilac	15 gal	120" OC	L
	<i>Dietsa bicolor</i>	African Iris	1 gal	30" OC	L
	<i>Eriogonum fasciculatum</i>	California buckwheat	1 gal	36" OC	L
	<i>Galvezia speciosa</i>	Bush Island Snapdragon	5 gal	48" OC	L
	<i>Heteromeles arbutifolia</i>	Toyon	15 gal	120" OC	L
	<i>Leucadendron galpinii</i> 'Silver Cone'	Silver Cone Galpin's Conebush	5 gal	72" OC	L
	<i>Mimulus aurantiacus</i>	Bush Monkeyflower	3 gal	36" OC	L
	<i>Mimulus</i> 'Fiesta Marigold'	Fiesta Marigold Monkeyflower	3 gal	18" OC	L
	<i>Rhamnus californica</i>	California Coffeeberry	5 gal	96" OC	L
	<i>Rhamnus californica</i> 'Seaview' or 'Little Sur'	Compact Coffeeberry	3 gal	48" OC	L
	<i>Salvia clevelandii</i> 'Winnifred Gilman'	Cleveland Sage	3 gal	36" OC	L
	<i>Salvia greggii</i>	Autumn Sage	3 gal	30" OC	L
	<i>Verbena ilacina</i> 'De La Mina'	De La Mina Verbena	3 gal	30" OC	L
	<i>Westringia</i> 'Blue Gem'	Blue Gem Coast Rosemary	5 gal	60" OC	L
	<i>Westringia</i> 'Morning Light'	Coast Rosemary	3 gal	36" OC	L
GRASSES					
	<i>Festuca mairei</i>	Atlas Fescue	3 gal	30" OC	L
	<i>Festuca rubra</i>	Red Fescue ALT 1	plugs	10" OC	L
	<i>Carex divisa</i>	Grassland Sedge ALT 2	plugs	10" OC	L
	<i>Juncus patens</i>	California Gray Rush	1 gal	24" OC	L
	<i>Lomandra longifolia</i>	Dwarf Mat Rush	1 gal	36" OC	L
	<i>Muhlenbergia dubia</i>	Pine Muhly	3 gal	24" OC	L
	<i>Muhlenbergia rigens</i>	Deer Grass	3 gal	36" OC	L



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△ Date Description
07.28.2023 USE PERMIT PROJECT # UP2023-0079
09.28.2023 USE PERMIT PROJECT # UP2023-0079

Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
GILEAD NRC 331

Project Number
001.2407.000

Description
GROUND COVER PLANTING
PLAN - RESEARCH QUAD

Scale
1" = 16'-0"

L6.03

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SHEET NOTES

- ALL STREET TREES SHOWN ON PLANS SHALL BE MAINTAINED BY THE BUILDING OWNER IN A WEED AND LITTER FREE CONDITION AT ALL TIMES, AND IN A HEALTHY GROWING CONDITION CONSISTENT WITH THE CITY OF FOSTER CITY STANDARDS.
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SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPC	WTR USE
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	<i>Arctostaphylos</i> 'Howard McMin'	Howard McMin Manzanita	15 gal	72" OC	L
	<i>Artemisia californica</i>	California Sagebrush	3 gal	30" OC	L
	<i>Ceanothus</i> 'Concha'	California Mountain Lilac	5 gal	60" OC	L
	<i>Ceanothus</i> 'Julia Phelps'	Small Leaf Mountain Lilac	15 gal	120" OC	L
	<i>Iris bicolor</i>	African Iris	1 gal	30" OC	L
	<i>Eriogonum fasciculatum</i>	California buckwheat	1 gal	36" OC	L
	<i>Galvezia speciosa</i>	Bush Indian Snapdragon	5 gal	48" OC	L
	<i>Heteromeles arbutifolia</i>	Toyon	15 gal	120" OC	L
	<i>Leucodendron galpinii</i> 'Silver Cone'	Silver Cone Galpin's Conebush	5 gal	72" OC	L
	<i>Mimulus aurantiacus</i>	Bush Monkeyflower	3 gal	36" OC	L
	<i>Mimulus</i> 'Fiesta Marigold'	Fiesta Marigold Monkeyflower	3 gal	18" OC	L
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	<i>Rhamnus californica</i> 'Seaview' or 'Little Sur'	Compact Coffeeberry	3 gal	48" OC	L
	<i>Salvia clevelandii</i> 'Winnifred Gilman'	Cleveland Sage	3 gal	36" OC	L
	<i>Salvia greggii</i>	Autumn Sage	3 gal	30" OC	L
	<i>Verbena ilacina</i> 'De La Mina'	De La Mina Verbena	3 gal	30" OC	L
	<i>Westringia</i> 'Blue Gem'	Blue Gem Coast Rosemary	5 gal	60" OC	L
	<i>Westringia</i> 'Morning Light'	Coast Rosemary	3 gal	36" OC	L
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	<i>Festuca mairei</i>	Atlas Fescue	3 gal	30" OC	L
	<i>Festuca rubra</i>	Red Fescue ALT 1	plugs	10" OC	L
	<i>Carex divisa</i>	Grassland Sedge ALT 2	plugs	10" OC	L
	<i>Juncus patens</i>	California Gray Rush	1 gal	24" OC	L
	<i>Lomandra longifolia</i>	Dwarf Mat Rush	1 gal	36" OC	L
	<i>Muhlenbergia dubia</i>	Pine Muhly	3 gal	24" OC	L
	<i>Muhlenbergia rigens</i>	Deer Grass	3 gal	36" OC	L

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United States
Tel 415.363.9273

△ Date Description
07.28.2023 USE PERMIT PROJECT # UP2023-0079
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Seal / Signature

**NOT FOR
CONSTRUCTION**

Project Name
GILEAD NRC 331

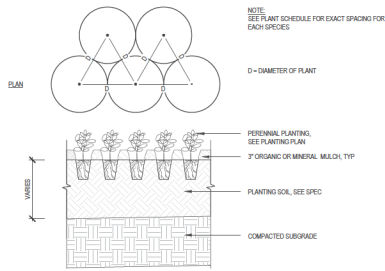
Project Number
001.2407.000

Description
GROUND COVER PLANTING
PLAN - NORTH ARRIVAL

Scale
1" = 16'-0"

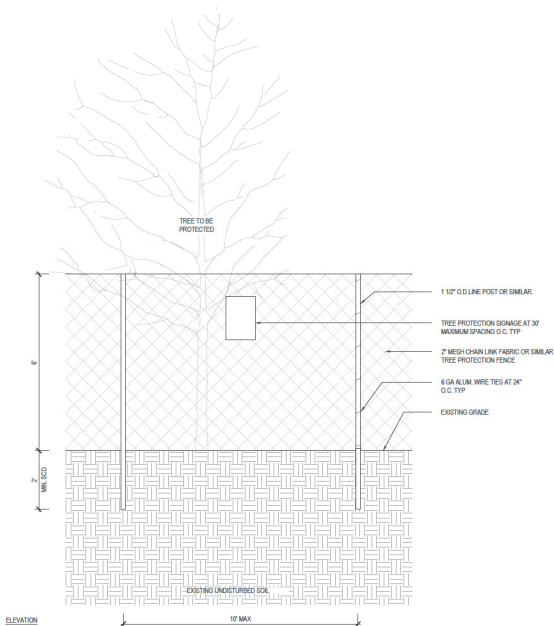
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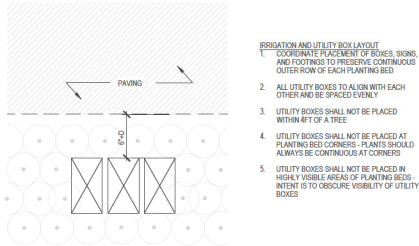


5 PERENNIAL PLANTING
SCALE: NTS

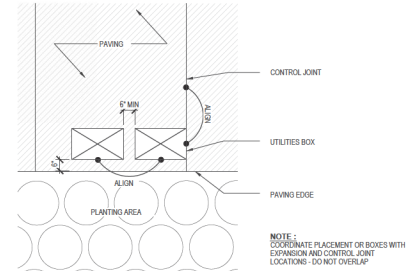
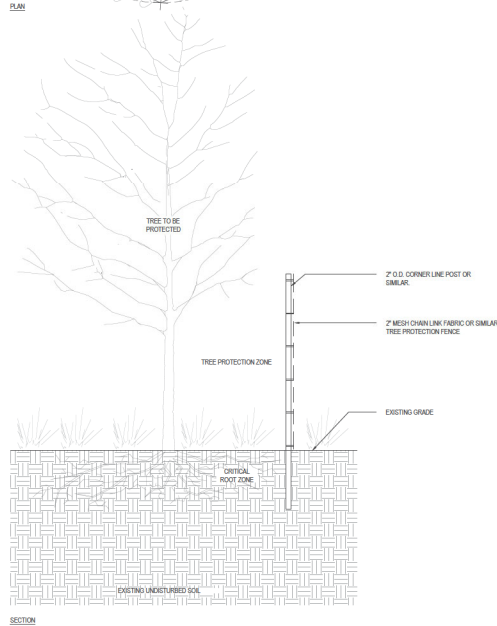
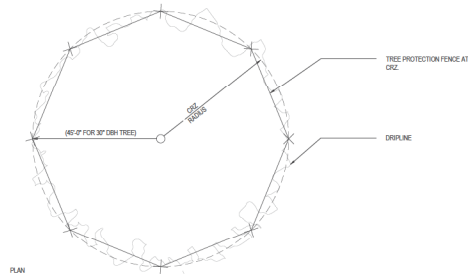
- NOTES:
1. TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION.
 2. TREE PROTECTION FENCE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION REMAINING FENCE ONLY WITH APPROVAL AND AFTER ALL SITE WORK HAS BEEN COMPLETED.
 3. TREES TO BE PROTECTED ARE TO BE PROTECTED BY A FENCE WHICH IS TO BE MAINTAINED AT ALL TIMES AT A MINIMUM DISTANCE OF THE CANOPY DRIPLE LINE. ALL FILL SOIL SHALL BE KEPT OUT OF THE TREE PROTECTION ZONES (TPZ) BOTH DURING AND AFTER CONSTRUCTION.
 4. PROTECTED TREES THAT HAVE BEEN DAMAGED OR DESTROYED BY CONSTRUCTION SHALL BE REPLACED OR THE CITY SHALL BE REMEDIATED. APPROVED IN SECTION 11.06.B OF THE CITY MUNICIPAL CODE. OPERABLES OR OTHER CONSTRUCTION MATERIALS SHALL NOT BE STORED WITHIN THE DRIPLE LINE OF PROTECTED TREES. DRAINS SHALL BE PROVIDED AS REQUIRED BY THE DIRECTOR WHEREVER FILL SOIL IS PLACED AROUND PROTECTED TREES.
 5. SIGNS, WIRES, OR SIMILAR DEVICES SHALL NOT BE ATTACHED TO PROTECTED TREES.
 6. SHOULD ANY CONSTRUCTION ACTIVITY TAKE PLACE WITHIN THE CRITICAL ROOT ZONE (CRZ) OF ANY TREES, STRESS REDUCTION MEASURES SHALL BE IMPLEMENTED. THESE CAN INCLUDE:
 - AIR SPRINKLING AND ROOT PRUNING
 - FENCING
 - SOILAGE AND FENCING
 - ROOTSTIMULANT AND GROWTH REGULATOR TREATMENTS IN ADVANCE OF DISTURBANCE
 7. ANTI-COMPACTON MEASURES SHALL BE IMPLEMENTED INSIDE THE CRZ BUT OUTSIDE THE TPZ IF THEY DO NOT COLLIDE.
 8. FOLLOW AHS AND ADO PRUNING STANDARDS WHEN CONDUCTING ANY PRUNING ON TREES. ANY PRUNING BEYOND 20 PERCENT OF THE TREE CANOPY SHOULD BE APPROVED BY PROJECT ARCHITECT.



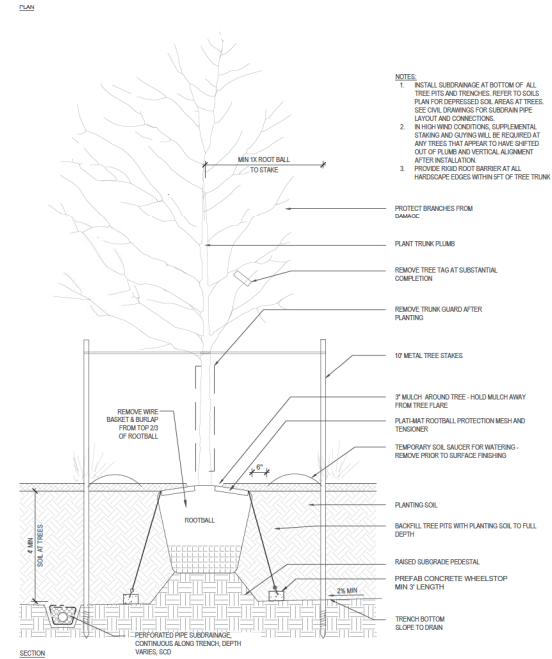
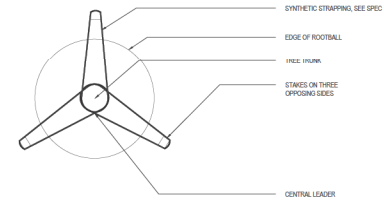
3 TREE PROTECTION
SCALE: 3/4\"/>



4 UTILITY & IRRIGATION BOX ALIGNMENT IN PLANTING
SCALE: 1/2\"/>



2 UTILITY BOX ALIGNMENT IN PAVING
SCALE: 1/2\"/>



1 TREE PLANTING & STAKING
SCALE: 3/4\"/>

- NOTES:
1. INSTALL SUBDRAINAGE AT BOTTOM OF ALL TREE PITS AND TRENCHES. REFER TO SOILS PLAN FOR DEPRESSURED SOIL AREAS AT TREES. SEE SOIL DRAWINGS FOR SUBDRAINAGE LAYOUT AND CONNECTIONS.
 2. IN HIGH-WIND CONDITIONS, SUPPLEMENTAL STAKING AND GUYING WILL BE REQUIRED AT ANY TREES THAT APPEAR TO HAVE SHIFTED OUT OF PLUMB AND VERTICAL ALIGNMENT AFTER INSTALLATION.
 3. PROVIDE ROOT PROTECT BARRIER AT ALL LANDSCAPE EDGES WITHIN 5 FT. OF TREE TRUNK.

Date	Description
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Seal / Signature

NOT FOR CONSTRUCTION

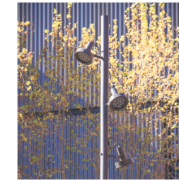
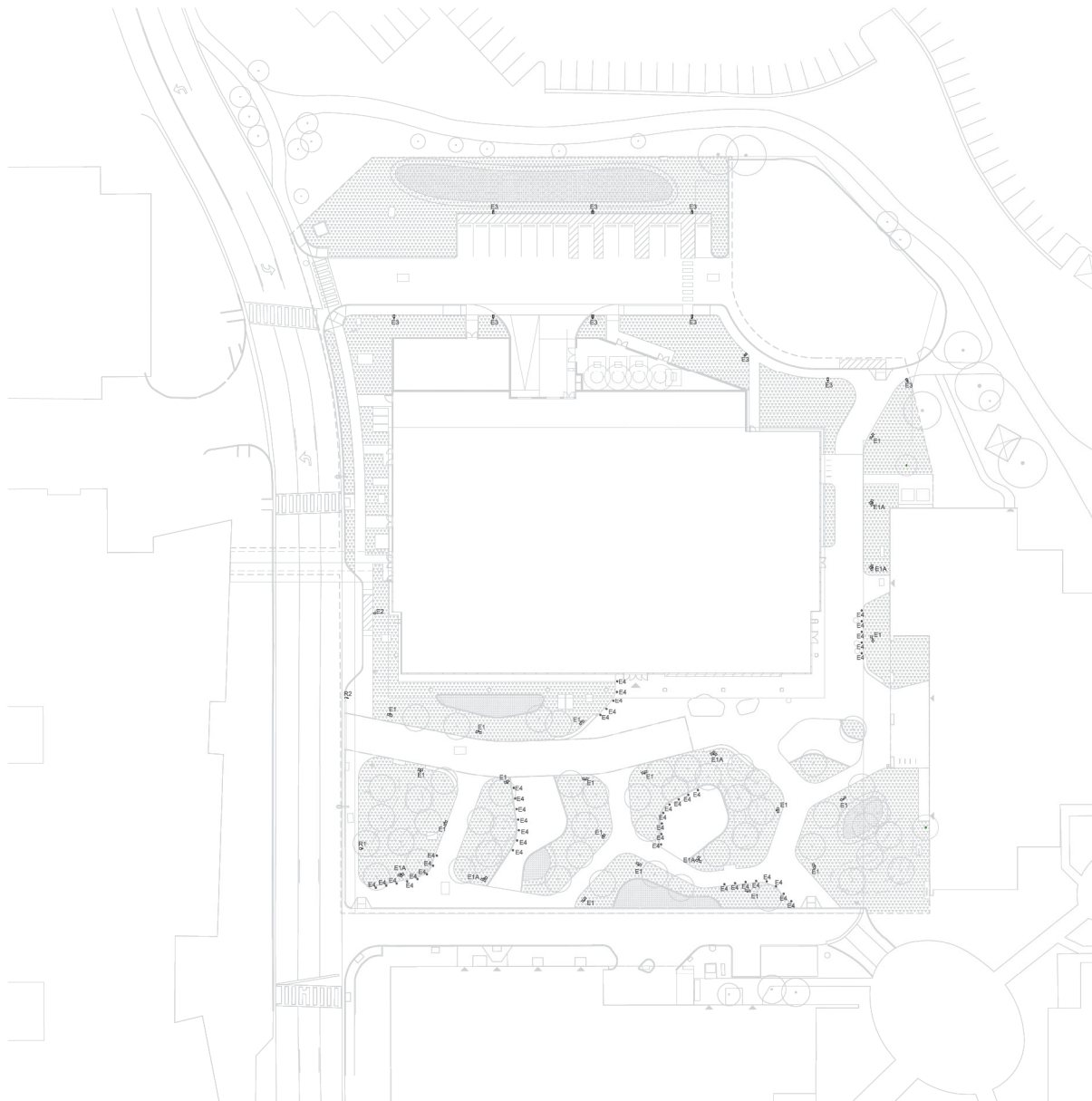
Project Name
GILEAD NRC 331

Project Number
001.2407.000

Description
PLANTING DETAILS

Scale
AS INDICATED

L9.01



E1/E1A: Multi-head area light
Mounting Height: 25'-0"



E1/E1A ALT: Multi-head area light
Mounting Height: 25'-0"



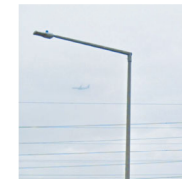
E2: Gilead standard pedestrian scale
area light
Mounting Height: 15'-0"



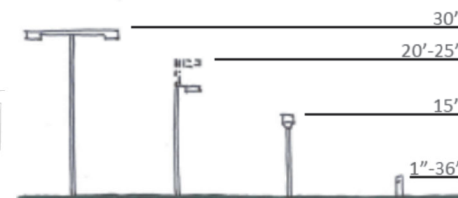
E3: Gilead standard parking lot area
light
Mounting Height: 22'-0"



E4: Low level lighting
Mounting Height: 1'-10"



R1: Relocated street light
Mounting Height: 30'-0"



Acceptable luminaire heights per Vintage Park Design Guidelines



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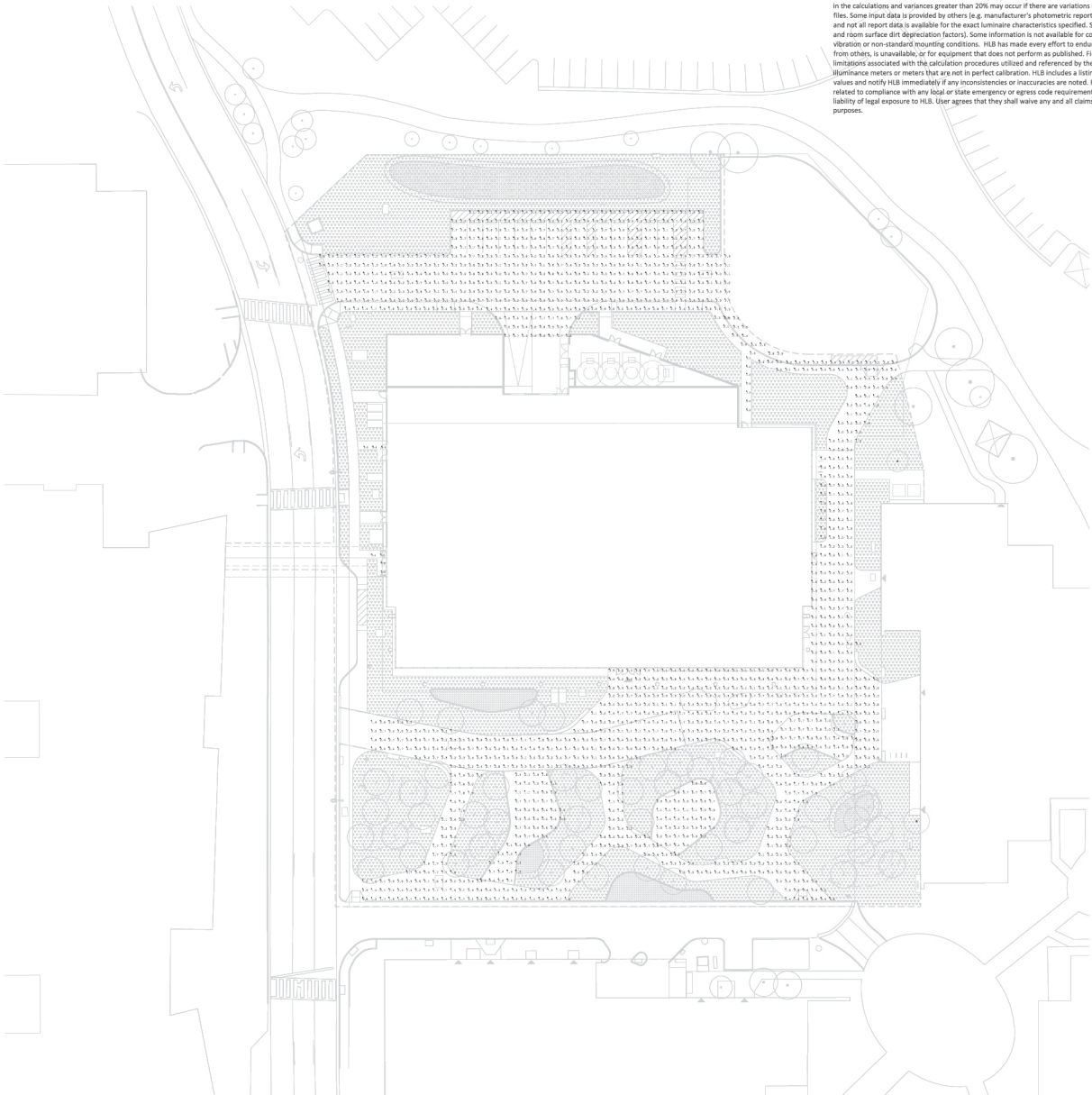
Project Number
01.2407.000

Description
SITE LIGHTING PLAN

Scale
1" = 30'-0"

LT.01

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Illuminance Calculations Disclaimer:

Illuminance calculations are for lighting design aid purposes only. All calculations performed by Horton Lees Brogden Lighting Design Inc (HLB) are based on published methods and recommendations of the Illuminating Engineering Society of North America (IESNA). Calculation accuracy is highly dependent upon the input data utilized in the calculations and variances greater than 20% may occur if there are variations in the input data or if equipment does not perform as published in IES Photometric files. Some input data is provided by others (e.g. manufacturer's photometric reports, lamp lumen ratings, room surface materials and/or reflectances) and not all report data is available for the exact luminaire characteristics specified. Some information is derived by HLB from industry standard methods (e.g. luminaire and room surface dirt depreciation factors). Some information is not available for conditions outside of the room, like variations in temperature, humidity, snow cover, vibration or non-standard mounting conditions. HLB has made every effort to ensure the reliability of all data, but is not responsible for errors in data that is received from others, is unavailable, or for equipment that does not perform as published. Field measurements may vary as much as 10%-20% from calculation results due to the limitations associated with the calculation procedures utilized and referenced by the IESNA. High amounts of variation can occur from the use of non-professional grade illuminance meters or meters that are not in perfect calibration. HLB includes a listing of all input values as part of the calculation submission. Please review these input values and notify HLB immediately if any inconsistencies or inaccuracies are noted. Further, the Calculation results provided herein are without warranty of any kind as related to compliance with any local or state emergency or agency code requirements. Use of the Calculations for these purposes is at sole risk of the user and without liability of legal exposure to HLB. User agrees that they shall waive any and all claims against HLB arising out of or resulting from use of the Calculations for these purposes.

SHEET NOTES

DRAWING IS FOR REFERENCE ONLY

GENERAL NOTES

KEY PLAN



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CIVIL ENGINEER
BCK
4570 Willow Road, Suite 250
Pleasanton, CA 94568
United States
Tel: 925.366.7700

MEP ENGINEER
Buro Happold
77 Geary St, Suite 640
San Francisco, CA 94108
United States
Tel: 310.945.4832

FIRE ENGINEER
Hobbes
225 Montgomery Street,
Suite 1250
San Francisco, CA 94104
United States
Tel: 925.366.7700

LIGHTING
HLB
785 Market St, Suite 800
San Francisco, CA 94103
United States
Tel: 415.348.8273

Date	Description
07.28.2023	USE PERMIT PROJECT # UP2023-0079
09.28.2023	USE PERMIT PROJECT # UP2023-0079

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
GILEAD NRC 331

Project Number
01.2407.000

Description
SITE PHOTOMETRIC ANALYSIS

Scale
1" = 30'-0"

LT.02